

**BASELINE PLACE - 02067CH
FEMA MT-1 LOMR-F**



City of Phoenix

STREET TRANSPORTATION DEPARTMENT

March 3, 2004

Michael Baker Corporation
3601 Eisenhower Avenue, Suite 600
Alexandria, Virginia 22304-6425

Case Number 03-09-1012C
Community: City of Phoenix
Maricopa County, Arizona
Community No.: 040051

RE: BASELINE PLACE, LETTER OF MAP REVISION - FILL (LOMR-F)
PHOENIX, ARIZONA, PANEL 04013C2140F

Gentlemen:

Please find enclosed a Letter of Map Revision-Fill (LOMR-F), for Baseline Place. The following items are included with this application.

ITEMS:

- 1- Summary.
- 2- Vicinity Map.
- 3- FIRM Map 04013C2140F, dated July 19, 2001.
- 4- Property Information Form.
- 5- Elevation Form.
- 6- Community Acknowledgement Form.
- 7- Assessor's Map.
- 8- Aerial Photograph.
- 9- Property Deed.
- 10- Alta Survey.
- 11- Final Plat.
- 12- As-Built Grading and Drainage Plan.
- 13- Check in the amount of \$700.

If you have any questions regarding this project, please call Mr. Tom Palmer, P.E., M2 Group, 4852 East Baseline Road, Suite 107, Mesa, Arizona 85206, phone number 480-539-7497, ext. 110, fax number 480-539-2810. For any other questions, please contact this office at 602-262-4960.

Sincerely,

Hasan Mushtaq, Ph.D., P. E., CFM
Floodplain Manager

HM/KL/aff/baseline place lomr.doc

c: Mr. Palmer, P.E., M2 Group
Mr. Murphy, P.E., CFM, FCDMC
Mr. Cosson, ADWR

Property of
Flood Control District of MC Library
Please Return to
2801 W. Durango
Phoenix, AZ 85009

**FEMA MT-1
LOMR-F REQUEST
for
BASELINE PLACE**

**Northeast corner of 5th Ave. & Beverly Road
Phoenix, Arizona**

Owner / Developer:

C-Curtis Construction

8679 E. San Alberto Dr.
Suite 100
Scottsdale, AZ 85258

Applicant:



M2 GROUP, INC.

4852 E. Baseline Rd.
Suite 107
Mesa, Arizona 85206

City of Phoenix Tracking Numbers:

Kiva # 02-79
SDEV # 0200048

**FEMA MT-1
LOMR-F REQUEST FOR
BASELINE PLACE**

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SUMMARY

SUMMARY

Baseline Place is a proposed 75-lot single family subdivision. The site is bounded on the north by the Western Canal and Baseline Road, on the south by Beverly Road, on the west by 5th Avenue, and on the east by an existing subdivision. The existing terrain slopes gently from south to north.

The northern portion of this site is located within Flood Zone "A" as shown on FIRM Map #04013C2140F Revised July 19, 2001. This is due to the elevation of the canal being slightly higher than the elevation of the northern portion of this site. Therefore, storm water runoff from the south is impounded by the Western Canal before overtopping the bank of the canal and continuing northward.

The subdivision of Baseline Place includes a large retention area at the north end of the site, adjacent to the canal. This basin is being sized to retain the volume required for storm water retention, plus the volume of water that is currently impounded by the Western Canal. This volume of water was determined by taking the base flood elevation (the highest point on the canal bank adjacent to the site) and comparing it to the on-site elevations as determined by a topographic survey. The impoundment volume on this site was determined to be approximately 13,300 cubic-feet, which the basin has been designed to retain.

Fifteen (15) of the proposed lots in this subdivision are located within Flood Zone "A". These lots will be graded in such a way as to be elevated above the base flood elevation as shown on the Elevation Form (Tab 5) and the Grading and Drainage Plan (Tab 12). The pads for these lots are built per the approved Grading and Drainage Plan. Pad as-builts are provided along with signed certification by a Registered Engineer (Tab 5). The intent of this process is that all lots within this subdivision be removed from the Special Flood Hazard Area (SFHA) designation.



Federal Emergency Management Agency

Washington, D.C. 20472

July 18, 2003

THE HONORABLE SKIP RIMSZA
MAYOR, CITY OF PHOENIX
200 W WASHINGTON STREET 11TH FLOOR
PHOENIX, AZ 85003-1611

CASE NO.: 03-09-1012C
COMMUNITY: CITY OF PHOENIX, MARICOPA COUNTY,
ARIZONA
COMMUNITY NO.: 040051

DEAR MAYOR RIMSZA:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Conditional Letter of Map Revision based on Fill (CLOMR-F) Comment Document. This comment document provides additional information regarding the effective NFIP map, the legal description of the property and our comments regarding this proposed project.

Additional documents are enclosed which provide information regarding the subject property and CLOMR-Fs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Sincerely,

Doug Bellomo, P.E., Acting Chief
Hazard Study Branch
Emergency Preparedness and Response Directorate

LIST OF ENCLOSURES:

CLOMR-F COMMENT DOCUMENT

cc: Mr. Hasan Mushtaq, P.E. C.F.M.
Mr. Tom Palmer



Federal Emergency Management Agency

Washington, D.C. 20472

CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	CITY OF PHOENIX, MARICOPA COUNTY, ARIZONA	Proposed Lots 1 through 5 and 7 through 17, Baseline Place
	COMMUNITY NO.: 040051	
AFFECTED MAP PANEL	NUMBER: 04013C2140F	
	NAME: MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS	
	DATE: 07/19/2001	
FLOODING SOURCE: WESTERN CANAL		

COMMENT TABLE REGARDING THE PROPOSED PROPERTY (PLEASE NOTE THAT THIS IS NOT A FINAL DETERMINATION. A FINAL DETERMINATION WILL BE MADE UPON RECEIPT OF AS-BUILT INFORMATION REGARDING THIS PROPERTY.)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
1-5	—	Baseline Place	—	Property	X (shaded)	1165.8 feet	—	1168.0 feet

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

DETERMINATION TABLE (CONTINUED)

CONDITIONAL LOMR-F DETERMINATION

ZONE A

This document provides the Federal Emergency Management Agency's comment regarding a request for a Conditional Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the proposed property(ies) would not be located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood) if built as proposed. Our final determination will be made upon receipt of a copy of this document, as-built elevations, and a completed Community Acknowledgement form. Proper completion of this form certifies the subject property is reasonably safe from flooding in accordance with Part 65.5(a)(4) of our regulations. Further guidance on determining if the subject property is reasonably safe from flooding may be found in FEMA Technical Bulletin 10-01. A copy of this bulletin can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/mit/tb1001.pdf>. This document is not a final determination; it only provides our comment on the proposed project in relation to the SFHA shown on the effective NFIP map.

This comment document is based on the flood data presently available. The enclosed documents provide additional information regarding this request. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Doug Bellomo, P.E., Acting Chief
Hazard Study Branch



Federal Emergency Management Agency

Washington, D.C. 20472

CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

DETERMINATION TABLE (CONTINUED)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NGVD 29)	LOWEST ADJACENT GRADE ELEVATION (NGVD 29)	LOWEST LOT ELEVATION (NGVD 29)
7-17	—	Baseline Place	—	Property	X (shaded)	1165.8 feet	—	1167.1 feet

CONDITIONAL LOMR-F DETERMINATION (This Additional Consideration applies to the preceding 2 Properties.)

Comments regarding this conditional request are based on the flood data presently available. Our final determination will be made upon receipt of this Comment Document, certified as-built elevations and/or certified as-built survey. Since this request is for a Conditional Letter of Map Revision based on Fill, we will also require the applicable processing fee, and the "Community Acknowledgement" form. Please note that additional items may be required before a final as-built determination is issued.

This letter does not relieve Federal agencies of the need to comply with Executive Order 11988 on Floodplain Management in carrying out their responsibilities and providing Federally undertaken, financed, or assisted construction and improvements, or in their regulating or licensing activities.

ZONE A (This Additional Consideration applies to the preceding 2 Properties.)

The National Flood Insurance Program map affecting this property depicts a Special Flood Hazard Area that was determined using the best flood hazard data available to FEMA, but without performing a detailed engineering analysis. The flood elevation used to make this determination is based on approximate methods and has not been formalized through the standard process for establishing base flood elevations published in the Flood Insurance Study. This flood elevation is subject to change.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439.

Doug Bellomo, P.E., Acting Chief
Hazard Study Branch
Emergency Preparedness and Response Directorate

Version 1.3.3 10080301CDMLTMAY03096521012



Federal Emergency Management Agency

Washington, D.C. 20472

May 23, 2003

Case No.: 03-09-1012C
216-A

We have received your request that the Federal Emergency Management Agency determine if the property identified below is located within an identified Special Flood Hazard Area on the applicable National Flood Insurance Program map.

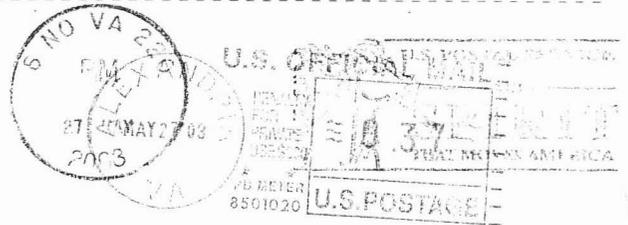
BASELINE PLACE, LOTS 1-5, 8-17

We are reviewing your submitted data and will contact you if additional information is required to process your request. If additional information is not required, we will issue a final letter of determination within 30-60 days. Inquiries concerning the status of your request should be made by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, 3601 Eisenhower Avenue, Suite 600, Alexandria, VA 22304-6439. Please be assured we will do our best to respond to all inquiries in a timely manner.

IM-HM-HS (BAKER)

**Federal Emergency Management Agency
Washington, D.C. 20472**

Official Business



Mr. Tom Palmer
MZ Group, Inc.
4852 E. Baseline Road, Suite 107
Mesa, AZ 85206

85206+4828



CURTIS LAND HOLDINGS, INC.

1404

REFERENCE NO.	DESCRIPTION	INVOICE DATE	INVOICE AMOUNT	DISCOUNT TAKEN	AMOUNT PAID
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1404

OUNT PAID

CHECK DATE	CHECK NO.	PAYEE	DISCOUNTS TAKEN	CHECK AMOUNT
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CHECK DATE	CHECK NO.	PAYEE	DISCOUNTS TAKEN	CHECK AMOUNT
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CURTIS LAND HOLDINGS, INC.
 8679 E. SAN ALBERTO DRIVE
 SUITE #100
 SCOTTSDALE, AZ 85258

NATIONAL BANK OF ARIZONA
 SCOTTSDALE, AZ 85258
 91-532/1221

1404

CHECK NO.
1404

DATE
1/23/04

AMOUNT
700.00

PAY
TO THE
ORDER
OF:

SEVEN HUNDRED + 00/100
F.E.M.A.



AUTHORIZED SIGNATURE

MP

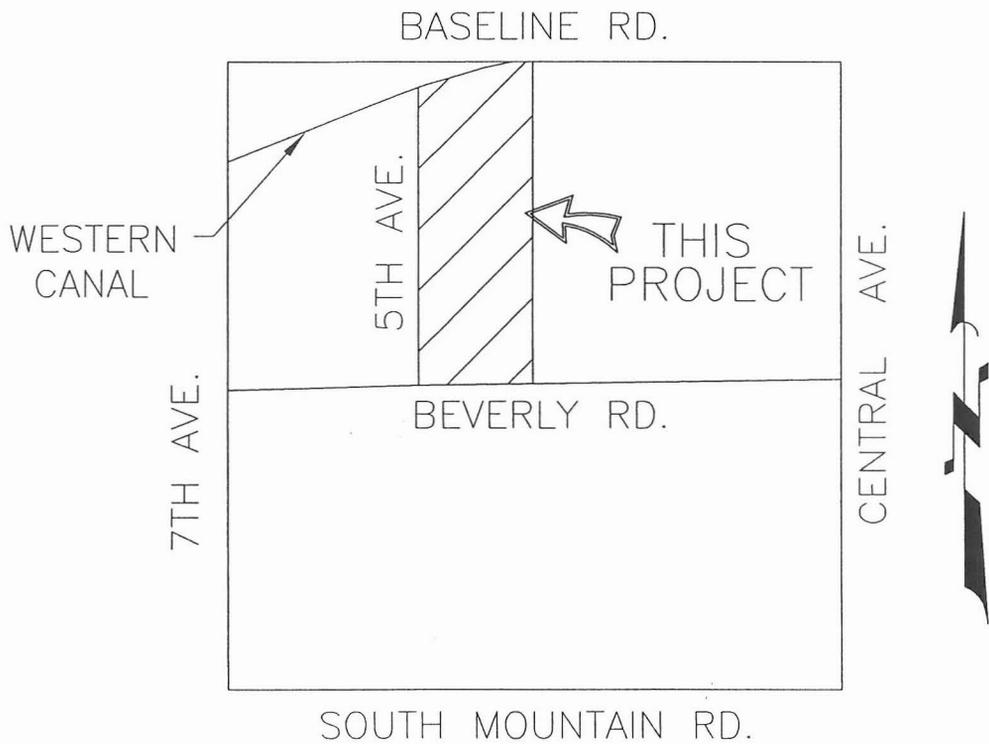
SECURITY FEATURES INCLUDED. DETAILS ON BACK.

001404 22105320 0050035148

FILE w/ 02067CH (BASELINE PAGES)

VICINITY MAP

WESTERN



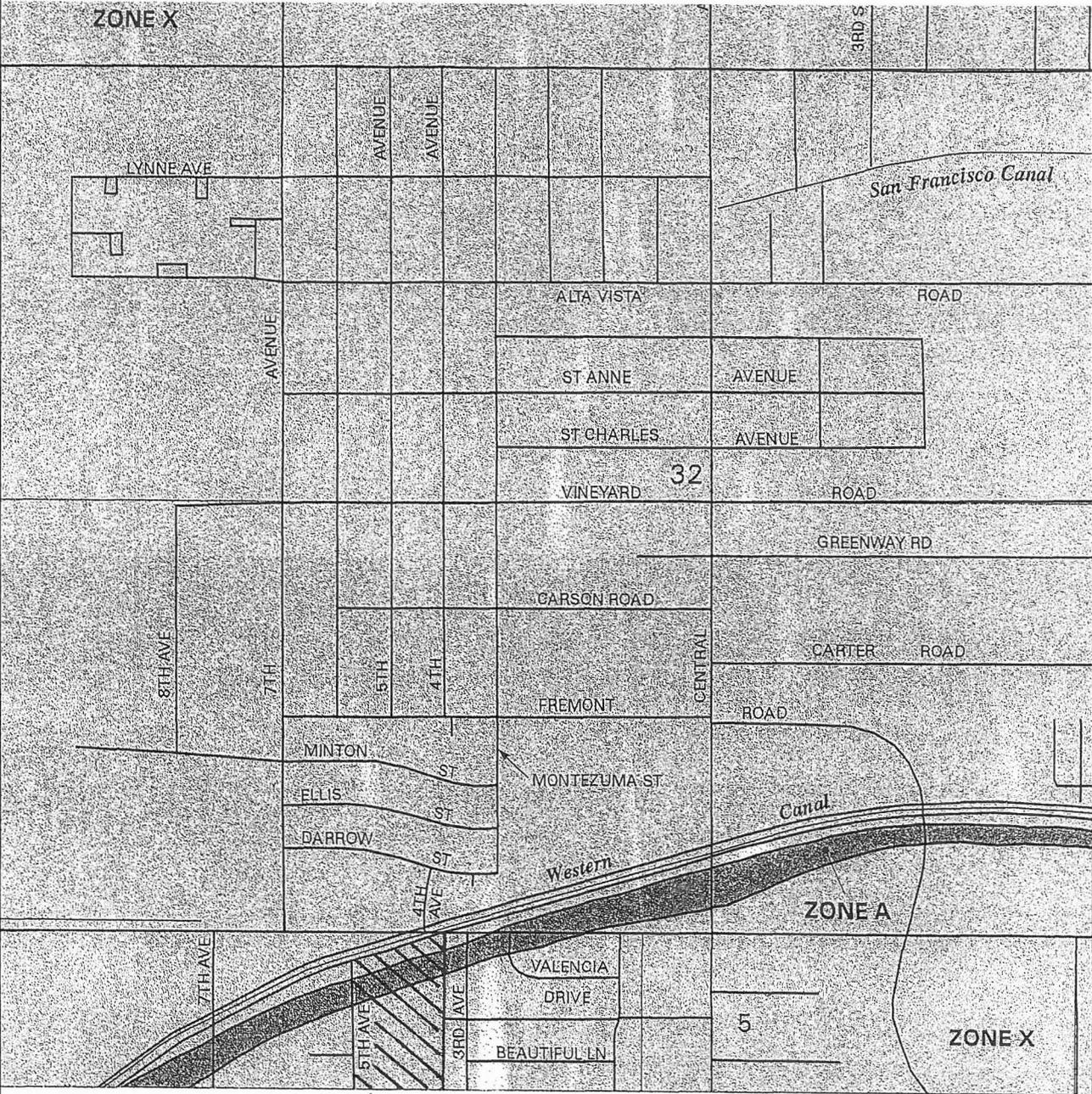
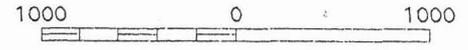
VICINITY MAP
N.T.S.

FIRM MAPS

WETA



APPROXIMATE SCALE IN FEET



↑ BASELINE PLACE

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

MARICOPA COUNTY,
ARIZONA AND
INCORPORATED AREAS

PANEL 2140 OF 4350
(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
MARICOPA COUNTY, UNINCORPORATED AREAS	040037	2140	F
PHOENIX, CITY OF	040051	2140	F

MAP NUMBER
04013C2140 F

MAP REVISED:
JULY 19, 2001



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/mit/tsd.

PROPERTY INFORMATION
FORM

WESPA

FEDERAL EMERGENCY MANAGEMENT AGENCY
PROPERTY INFORMATION FORM

O.M.B. NO. 3067-0147
Expires September 30, 2005

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average 1.63 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form may be completed by the property owner, property owner's agent, licensed land surveyor, or registered professional engineer to support a request for a Letter of Map Amendment (LOMA), Conditional Letter of Map Amendment (CLOMA), Letter of Map Revision Based on Fill (LOMR-F), or Conditional Letter of Map Revision Based on Fill (CLOMR-F) for existing or proposed, single or multiple lots/structures. Please check the item below that describes your request:

<input type="checkbox"/> LOMA	A letter from FEMA stating that an existing structure or parcel of land that has not been elevated by fill (natural grade) would not be inundated by the base flood.
<input type="checkbox"/> CLOMA	A letter from FEMA stating that a proposed structure that is not to be elevated by fill (natural grade) would not be inundated by the base flood if built as proposed.
<input checked="" type="checkbox"/> LOMR-F	A letter from FEMA stating that an existing structure or parcel of land that has been elevated by fill would not be inundated by the base flood.
<input type="checkbox"/> CLOMR-F	A letter from FEMA stating that a parcel of land or proposed structure that will be elevated by fill would not be inundated by the base flood if fill is placed on the parcel as proposed or the structure is built as proposed.

Fill is defined as material from any source placed to raise the ground to or above the Base Flood Elevation (BFE). The common construction practice of removing unsuitable existing material (topsoil) and backfilling with select structural material is not considered the placement of fill if the practice does not alter the existing (natural grade) elevation, which is at or above the BFE. **Fill that is placed before the date of the first National Flood Insurance Program (NFIP) map showing the area in a Special Flood Hazard Area (SFHA) is considered natural grade.**

Has fill been placed on your property? Yes No If yes, when was fill placed? 10/03
month/year

Will fill be placed on your property? Yes No If yes, when will fill be placed? /
month/year

1. Street Address of the Property (if request is for multiple structures, please attach additional sheet):

NORTHEAST CORNER OF BEVERLY ROAD & 5TH AVE.

2. Legal description of Property (Lot, Block, Subdivision) (if a street address cannot be provided):

BASELINE PLACE PER MCR OFFICE, 75 LOTS, APN # 300-40-151 THROUGH 300-40-225

3. Are you requesting that the SFHA designation be removed from (check one):

- the entire legally recorded property?
- a portion of land within the bounds of the property (a certified metes and bounds description and map of the area to be removed, certified by a licensed land surveyor or registered professional engineer, are required)?
- structures on the property? What are the dates of construction?

4. Is this request for a (check one):

- single structure
- single lot
- multiple structures (How many structures are involved in your request? List the number:)
- multiple lots (How many lots are involved in your request? List the number: 15)

In addition to this form (MT-1 Form 1), ALL requests must include the following:

- Copy of the Plat Map for the property (with recordation data and stamp of the Recorder's Office)
OR
- Copy of the property Deed (with recordation data and stamp of the Recorder's Office), accompanied by a tax assessor's map or other certified map showing the surveyed location of the property relative to local streets and watercourses
- Copy of the effective FIRM panel and/or Flood Boundary and Floodway Map (FBFM) (if applicable) on which the property location has been accurately plotted (property inadvertently located in the NFIP regulatory floodway will require Section B of MT-1 Form 3)
- Form 2 – Elevation Form. If an Elevation Certificate has already been completed for this property, it may be submitted in addition to Form 2.

Please include a map scale and North arrow on all maps submitted.

For LOMR-Fs and CLOMR-Fs, the following must be submitted in addition to the items listed above:

- Form 3 – Community Acknowledgment Form

Processing Fee (see instructions for appropriate mailing address; or, visit http://www.fema.gov/fhm/frm_fees.shtm for the most current fee schedule)

Revised fee schedules are published periodically, but no more than once annually, as noted in the Federal Register. Please note: single/multiple lot(s)/structure(s) LOMAs are fee exempt. The current review and processing fees are listed below:

Check the fee that applies to your request:

- \$325 (single lot/structure LOMR-F following a CLOMR-F)
- \$425 (single lot/structure LOMR-F)
- \$500 (single lot/structure CLOMA or CLOMR-F)
- \$700 (multiple lot/structure LOMR-F following a CLOMR-F, or multiple lot/structure CLOMA)
- \$800 (multiple lot/structure LOMR-F or CLOMR-F)

Please submit the Payment Information Form for remittance of applicable fees. Please make your check or money order payable to: National Flood Insurance Program.

All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Applicant's Name: JOEL SAUREY
Please Print or Type

Company: m2 Group, Inc.

Mailing Address: 4852 E. BASELINE RD.; SUITE 107
MESA, AZ 85206

Daytime Telephone No.: (480) 324-3704

E-Mail Address: jsaurey@m2grouping.com
(optional)

Fax No.: (480) 539-2810

Date Jan. 21, 2004

Joel P. Saurey
Signature of Applicant (required)

If you have any questions concerning FEMA policy, or the NFIP in general, please contact the FEMA Map Assistance Center toll free at 1-877-FEMA-MAP (1-877-336-2627), or visit the Flood Hazard Mapping website at www.fema.gov/fhm/.

ELEVATION FORM

FEDERAL EMERGENCY MANAGEMENT AGENCY
ELEVATION FORM

O.M.B. NO. 3067-0147
Expires September 30, 2005

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average 1 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form must be completed for requests and must be completed and signed by a registered professional engineer or licensed land surveyor. **A FEMA National Flood Insurance Program (NFIP) Elevation Certificate may be submitted in addition to this form for single structure requests.**

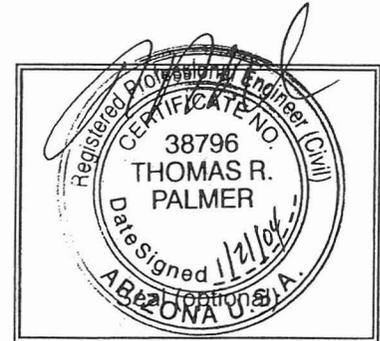
For requests to remove a structure on natural grade OR on engineered fill from the Special Flood Hazard Area (SFHA), submit the lowest adjacent grade (the lowest ground touching the structure), including an attached deck or garage. For requests to remove an entire parcel of land from the SFHA, provide the lowest lot elevation; or, if the request involves an area described by metes and bounds, provide the lowest elevation within the metes and bounds description.

1. NFIP Community Number: 040051 Property Name or Address: BASELINE PLACE; NEC 5TH AVE. & BEVERLY RD.
2. Are the elevations listed below based on existing or proposed conditions? (Check one)
3. What is the elevation datum? If any of the elevations listed below were computed using a datum different than the datum used for the effective Flood Insurance Rate Map (FIRM) (e.g., NGVD 29 or NAVD 88), what was the conversion factor?
Local Elevation +/- ft. = FIRM Datum
4. For the existing or proposed structures listed below, what are the types of construction? (check all that apply)
 crawl space slab on grade basement/enclosure other (explain)
5. Has FEMA identified this area as subject to land subsidence or uplift? (see instructions) Yes No
If yes, what is the date of the current releveing? / (month/year)

Lot Number	Block Number	Lowest Lot Elevation	Lowest Adjacent Grade To Structure ^{A/B}	Base Flood Elevation	For FEMA Use Only
1	—	1168.0	1168.5	1165.8	
2	—	1168.3	1168.8	1165.8	
3	—	1168.5	1169.0	1165.8	

This certification is to be signed and sealed by a licensed land surveyor, registered professional engineer, or architect authorized by law to certify elevation information. All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Certifier's Name: <u>Thomas Palmer</u>	License No.: <u>38796</u>	Expiration Date: <u>3/31/06</u>
Company Name: <u>M2 Group, Inc.</u>	Telephone No.: <u>480-539-7497</u>	Fax No.: <u>480-324-3600</u>
Signature: <u>[Signature]</u>	Date: <u>1/21/04</u>	



BASELINE PLACE PAD ASBUILTS

<u>Lot #</u>	<u>Design Elev</u>	<u>Asbuilt Elev</u>	<u>Variance</u>
1	68.5	68.5	
2	68.7	68.8	+0.1
3	69.0	69.0	
4	69.4	69.5	+0.1
5	69.6	69.5	-.01
6	70.3	70.4	+0.1
7	69.8	69.9	+0.1
8	69.7	69.8	+0.1
9	69.3	69.2	-0.1
10	68.8	68.7	-0.1
11	68.3	68.3	
12	67.9	67.8	-0.1
13	67.8	67.7	-0.1
14	68.0	67.9	-0.1
15	68.6	68.5	-0.1
16	68.8	68.7	-0.1
17	69.2	69.1	-0.1
18	69.6	69.5	-0.1
19	70.0	69.9	-0.1
20	70.6	70.4	-0.2
21	72.0	72.0	
22	71.3	71.3	
23	70.7	70.8	+0.1
24	70.3	70.3	
25	70.1	70.1	
26	69.9	69.9	
27	69.7	69.7	
28	69.5	69.5	
29	69.3	69.4	+0.1
30	69.1	69.2	+0.1
31	69.0	69.1	+0.1
32	71.6	71.6	
33	72.0	72.1	+0.1
34	72.2	72.2	
35	72.4	72.3	-0.1
36	72.5	72.5	
37	72.7	72.7	
38	72.9	72.8	-0.1
39	73.0	73.0	
40	73.2	73.2	
41	73.3	73.4	+0.1

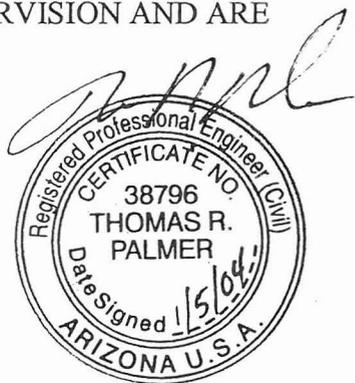
42	73.6	73.7	+0.1
43	74.4	74.5	+0.1
44	75.3	75.4	+0.1
45	76.2	76.3	+0.1
46	77.0	77.0	
47	78.4	78.5	+0.1
48	79.4	79.4	
49	81.3	81.4	+0.1
50	82.8	82.8	
51	84.8	84.7	-0.1
52	83.4	83.4	
53	82.9	82.9	
54	82.4	82.4	
55	82.0	82.0	
56	81.5	81.4	-0.1
57	81.1	81.1	
58	80.5	80.5	
59	76.9	77.0	+0.1
60	77.4	77.4	
61	78.1	78.2	+0.1
62	78.8	78.7	-0.1
63	79.5	79.5	
64	80.3	80.3	
65	80.2	80.3	+0.1
66	77.2	77.3	+0.1
67	75.2	75.3	+0.1
68	74.6	74.7	+0.1
69	73.7	73.8	+0.1
70	73.7	73.7	
71	73.5	73.6	+0.1
72	73.2	73.3	+0.1
73	76.4	76.4	
74	77.1	77.1	
75	77.8	77.7	-0.1

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THESE ASBUILT MEASUREMENTS AS SHOWN OR NOTED HEREON WERE MADE BY ME OR UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNATURE *Thomas R. Palmer*

DATE 1/5/04



COMMUNITY ACKNOWLEDGE
FORM

FEDERAL EMERGENCY MANAGEMENT AGENCY
COMMUNITY ACKNOWLEDGMENT FORM

O.M.B. NO. 3067-0147
 Expires September 30, 2005

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this form is estimated to average 0.88 hour per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing, reviewing, and submitting the form. You are not required to respond to this collection of information unless a valid OMB control number appears in the upper right corner of this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Federal Emergency Management Agency, 500 C Street, SW, Washington DC 20472, Paperwork Reduction Project (3067-0147). Submission of the form is required to obtain or retain benefits under the National Flood Insurance Program. **Please do not send your completed survey to the above address.**

This form must be completed for requests involving the existing or proposed placement of fill (complete Section A) OR to provide acknowledgment of this request to remove a property from the SFHA which was previously located within the regulatory floodway (complete Section B).

This form must be completed and signed by the official responsible for floodplain management in the community. The community number and the subject property address must appear in the spaces provided below.

Community Number: 040051 Property Name or Address: BASELINE PLACE, NEC 5th Ave & Beverly Rd.

A. REQUESTS INVOLVING THE PLACEMENT OF FILL

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this Letter of Map Revision Based on Fill (LOMR-F) or Conditional LOMR-F request. Based upon the community's review, we find the completed or proposed project meets or is designed to meet all of the community floodplain management requirements, including the requirement that no fill be placed in the regulatory floodway, and that all necessary Federal, State, and local permits have been, or in the case of a Conditional LOMR-F, will be obtained. In addition, we have determined that the land and any existing or proposed structures to be removed from the SFHA are or will be reasonably safe from flooding as defined in 44CFR 65.2(c), and that we have available upon request by FEMA, all analyses and documentation used to make this determination. For LOMR-F requests, we understand that this request is being forwarded to FEMA for a possible map revision.

Community Comments:

Community Official's Name and Title: *(Please Print or Type)*

Hasan Mushtaq, Ph.D., P.E., CFM - Floodplain Manager

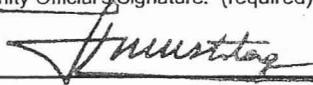
Telephone No.:

(602) 262-4026

Community Name:

City of Phoenix

Community Official's Signature: *(required)*



Date:

March 2, 2004

B. PROPERTY LOCATED WITHIN THE REGULATORY FLOODWAY

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this request for a LOMA. We understand that this request is being forwarded to FEMA to determine if this property has been inadvertently included in the regulatory floodway. We acknowledge that no fill on this property has been or will be placed within the designated regulatory floodway. We find that the completed or proposed project meets or is designed to meet all of the community floodplain management requirements.

Community Comments:

Community Official's Name and Title: *(Please Print or Type)*

Telephone No.:

Community Name:

Community Official's Signature: *(required)*

Date:

FEDERAL EMERGENCY MANAGEMENT AGENCY
PAYMENT INFORMATION FORM

Community Name: *City of Phoenix*
Project Identifier: *BASELINE PLACE, NEC 5th AVE. & Beverly Rd.*

THIS FORM MUST BE MAILED, ALONG WITH THE APPROPRIATE FEE, TO ONE OF TWO POST OFFICE BOXES (SEE BELOW) OR FAXED TO THE FAX NUMBER BELOW.

Type of Request:

MT-1 application fee }
MT-2 application fee } (Insert 3173 as the P.O. Box number in the address below)

External Data Requests (EDRs) (Insert 398 as the P.O. Box number in the address below)

Federal Emergency Management Agency
Revisions Fee-Collection System Administrator
P.O. Box
Merrifield, Virginia 22116
Fax: (703) 849-0282
Phone: (703) 849-0432

Request No.: _____ (if known) Amount: \$700.

INITIAL FEE* FINAL FEE FEE BALANCE** MASTER CARD VISA CHECK MONEY ORDER

Note: Applicable only for EDR and/or Alluvial Fan requests (as appropriate).

**Note: Applicable only if submitting a corrected fee for an ongoing request.

COMPLETE THIS SECTION ONLY IF PAYING BY CREDIT CARD

CARD NUMBER: — — —
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

EXP. DATE: —
Month Year

Date _____ Signature _____

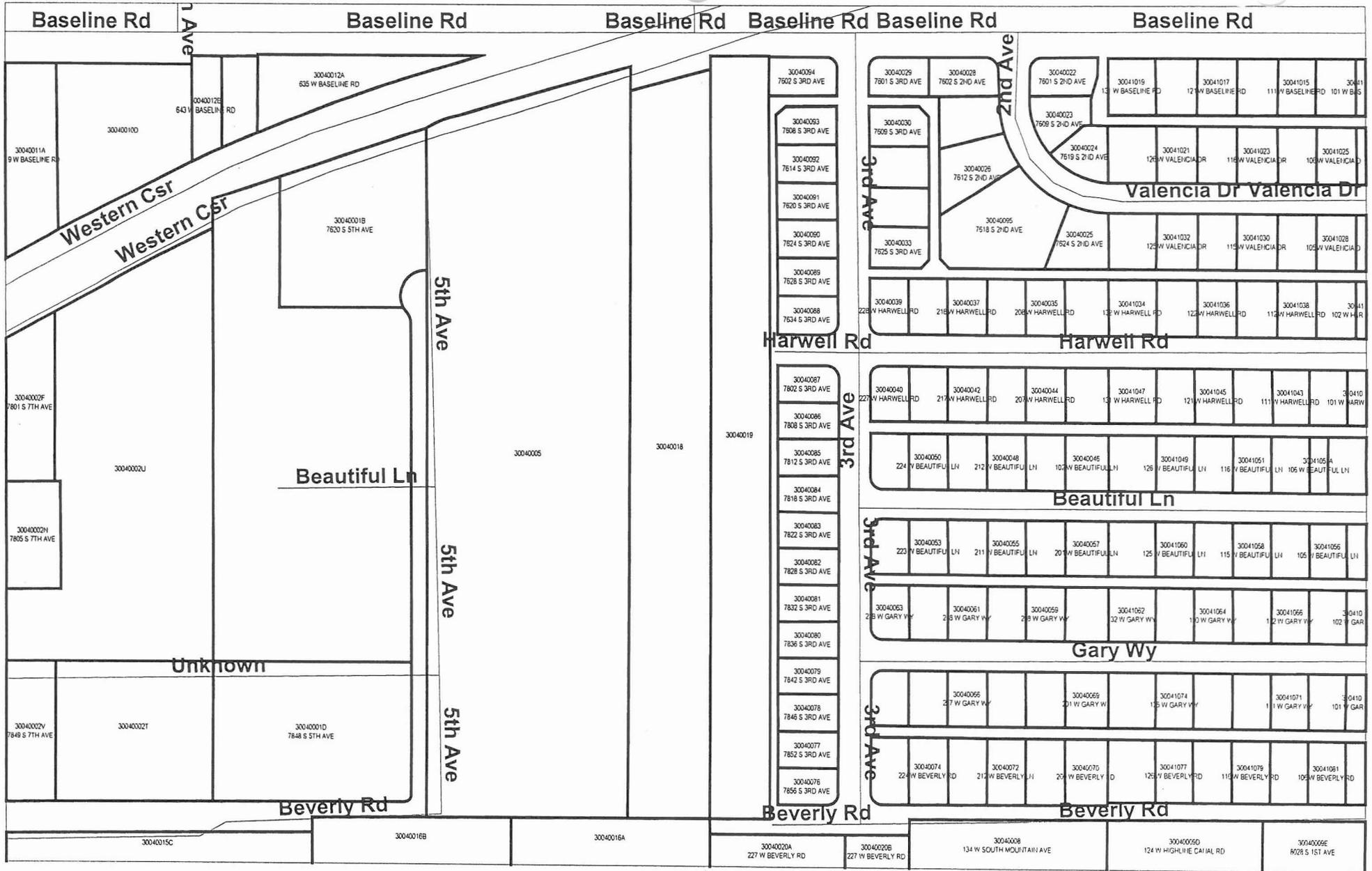
NAME (AS IT APPEARS ON CARD):
(please print or type)

ADDRESS:
(for your credit card receipt—please print or type)

DAYTIME PHONE:

ASSESSOR'S MAP

300-40-005 018, 109



N



AERIAL PHOTOGRAPH

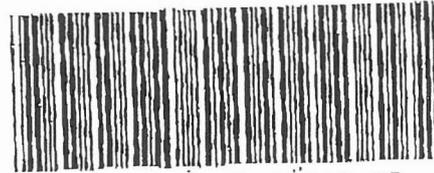
300-40-005, 018, 109



N



PROPERTY DEED



OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL

00-0346583 05/08/00 10:46

HE34R 1 OF 5

WHEN RECORDED, MAIL TO:

1 JOHN J. McGRATH
2 3535 W. Dunlap Ave., #244
3 Phoenix, Arizona 85051-5303
4 Telephone: (602) 222-8696
5 State Bar No. 000847
6 Attorney for Personal Representative

7 SUPERIOR COURT OF ARIZONA
8 MARICOPA COUNTY

9 In the Matter of the Estate of)
10 ANNA EMILY MILUS,)
11 Deceased.)

NO. PB1999-05065

DEED OF DISTRIBUTION

12 The undersigned Personal Representative, in order to make dist-
13 ribution of the property of this Estate in compliance with Title 14
14 of Arizona Revised Statutes, hereby assigns, transfers and releases
15 to CLEMENCE J. MILUS, the sole distributee of the Estate, whose add-
16 ress is 1017 East Butler Drive, Phoenix, Arizona 85020, all right,
17 title and interest of Decedent in and to the following described
18 property:

19 (1) "Lot One Hundred Fifty-One (151) NEW NORTHTOWN
20 NO. 2, according to the plat of record on
21 file in the office of the Maricopa County
22 Recorder, Arizona";

23 (2) Per "EXHIBIT I" attached hereto; and

24 (3) Per "EXHIBIT II" attached hereto.

25 DATED this 29 day of APRIL, 2000.

26 EXEMPT FROM FILING "AFFIDAVIT OF
27 VALUE" per A.R.S. 11-1134(A) (5)

Clemence J. Milus
CLEMENCE J. MILUS
Personal Representative

28 STATE OF ARIZONA)
County of Maricopa) ss.

29 The foregoing "DEED OF DISTRIBUTION" was acknowledged before me,
30 the undersigned Notary Public, this 29th day of April, 2000,
31 by CLEMENCE J. MILUS as Personal Representative.

Sadie S. Hobbs
Notary Public

32 My Commission Expires: OFFICIAL SEAL
33 1/5/2003 SADIE S. HOBBS
34 NOTARY PUBLIC-ARIZONA
35 MARICOPA COUNTY Comm. # 27859
36 My Commission Expires Jan 5, 2003

20000346583

EXHIBIT "I"

That Part of Lot Four (4), Section Five (5), Township One (1) South, Range Three (3) East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

BEGINNING on the South line of said Lot 4, whence the Southwest corner of said Lot bears South 89 degrees 18 minutes West (assumed bearing) 853.14 feet; thence North with the parallel West line of said Lot 1164.05 feet to the Southerly line of the right-of-way of the Western Canal; thence North 69 degrees 12 minutes East 38.38 feet; thence North 73 degrees 41 minutes East 300.4 feet; thence South 1258.1 feet to the South line of said Lot 4; thence South 89 degrees 18 minutes West 324.21 feet to the point of beginning.

[Also known as Maricopa County Assessor's Parcel #300 40 005]

20000346583 .

EXHIBIT "II"

Undivided one-half (1/2) interest in and to:

PARCEL NO. 1

"The West 99 feet of Lot 3, FARM UNIT 'C',
Section 5, Township 1 South, Range 3 East,
of the Gila and Salt River Base and Meridian."

[Also known as Maricopa County Assessor's
Parcel #300 40 019]

PARCEL NO. 2

"Part of Lot 4, FARM UNIT 'C', Section 5,
Township 1 South, Range 3 East, of the Gila
and Salt River Base and Meridian, described
as follows:

BEGINNING at a point in the South line of
said Lot 4 of said Section 1177.35 feet
East on the Southwest corner of said Lot 4;
thence running North on a line parallel to
the West boundary of said Lot 4, a distance
of 1258.1 feet, more or less, to the South
line of the right of way of the Western
Canal; thence Northeasterly along the said
South line of said right of way to its in-
tersection with the East line of said Lot
4; thence South along said East line to the
Southeast corner of said Lot 4 of said Sect-
ion; thence West to the corner of beginning."

[Also known as Maricopa County Assessor's
Parcel #300 40 018]

ALTA SURVEY

FINAL PLAT

02067CH - BASELINE PLACE

DEDICATION

STATE OF ARIZONA)
) SS
 COUNTY OF MARICOPA)

KNOW ALL MEN BY THESE PRESENTS: THAT CLEMENCE J. MILUS, AS OWNER, HAS SUBDIVIDED UNDER THE NAME OF "BASELINE PLACE", A PLANNED RESIDENTIAL DEVELOPMENT, A PORTION OF THE NORTHWEST QUARTER OF SECTION 5 TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREON; AND HEREBY PUBLISHES THIS PLAT AS AND FOR THE PLAT OF "BASELINE PLACE", A PLANNED RESIDENTIAL DEVELOPMENT, AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, EASEMENTS, ALLEY AND STREETS CONSTITUTING SAME, AND THAT EACH LOT, TRACT, AND STREET SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN EACH, RESPECTIVELY, ON SAID PLAT. CLEMENCE J. MILUS, AS OWNER, DEDICATES TO THE PUBLIC THE STREETS, ALLEY AND EASEMENTS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE PREMISES.

TRACT A THROUGH J ARE HEREBY DECLARED AS COMMON AREAS FOR THE USE AND ENJOYMENT OF THE PROPERTY OWNERS AND FOR DRAINAGE, RETENTION, LANDSCAPING AND OPEN SPACE PURPOSES.

SAID TRACTS TO BE OWNED BY THE HOMEOWNERS ASSOCIATION. RETENTION AND ASSOCIATED FACILITIES, AND LANDSCAPING WITHIN TRACTS A THROUGH J SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AS MORE FULLY SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS TO BE HERINAFTER RECORDED. DWELLING UNITS SHALL NOT BE CONSTRUCTED ON SAID TRACTS. A PUBLIC DRAINAGE EASEMENT IS HEREBY DEDICATED TO THE PUBLIC OVER ALL OF TRACTS "A" THROUGH "F" AS SHOWN HEREON. ALL EASEMENTS ARE SUBORDINATE TO THE DRAINAGE EASEMENT.

IN WITNESS WHEREOF, CLEMENCE J. MILUS HAS HEREUNDER CAUSED HIS NAME TO BE SIGNED AND THE SAME ATTESTED BY THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS 30th DAY OF June, 2003.

BY: Clemence J. Milus
 CLEMENCE J. MILUS

ACKNOWLEDGMENT

STATE OF ARIZONA)
) SS
 COUNTY OF MARICOPA)

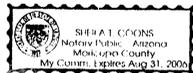
BEFORE ME THIS THE 30 DAY OF June, 2003, CLEMENCE J. MILUS PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, AND ACKNOWLEDGED HIMSELF TO BE THE LEGAL OWNER OF THE PROPERTY PLATTED HEREON, AND ACKNOWLEDGED THAT HE, AS OWNER EXECUTED THIS INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

BY: Theresa Adams MY COMMISSION EXPIRES Aug. 31, 2006
 NOTARY PUBLIC

APPROVALS

APPROVED BY THE CITY COUNCIL OF THE CITY OF PHOENIX, ARIZONA, THIS THE 2nd DAY OF July, 2003.



ATTEST: Picky Mial
 CITY CLERK

APPROVAL BY: Thomas Donahue DATE: 7-3-03
 FOR: DEVELOPMENT SERVICES DEPARTMENT

BASIS OF BEARING

THE NORTH LINE OF THE NORTHWEST QUATER OF SECTION 5, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, SAID LINE BEARS NORTH 89°57'57"EAST. PER AN UNRECORDED A.L.T.A./A.C.S.M. (BY TOM ROPE, RLS 21081, DATED APRIL 23, 2003)

TRACT TABLE

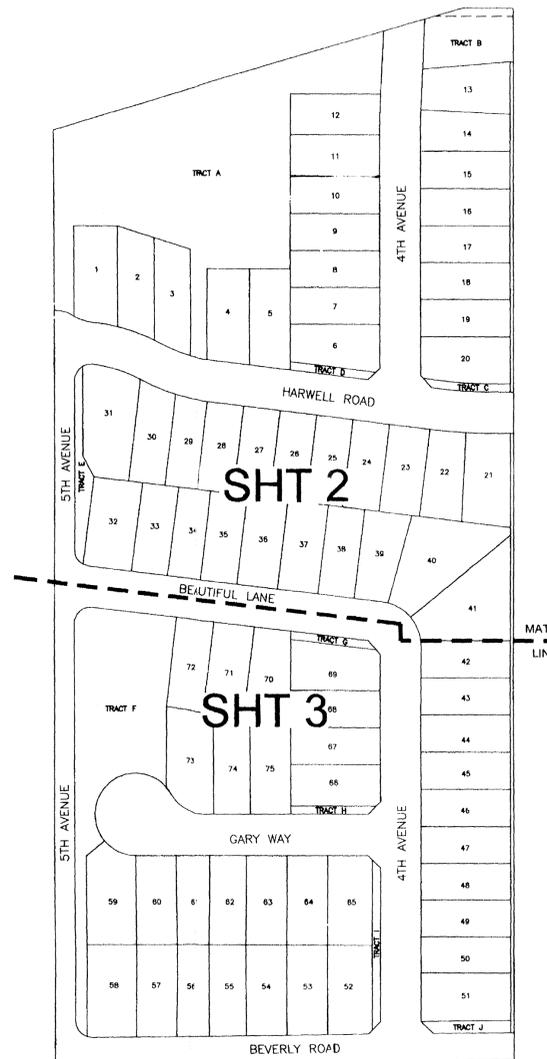
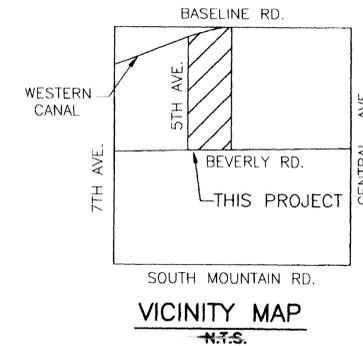
TRACT	AREA (acres)	DESCRIPTION OF USE
A	1.54	DRAINAGE EASEMENT/ RETENTION / LANDSCAPE
B	0.17	DRAINAGE EASEMENT/ RETENTION / LANDSCAPE
C	0.02	DRAINAGE EASEMENT/ RETENTION / LANDSCAPE
D	0.02	DRAINAGE EASEMENT/ RETENTION / LANDSCAPE
E	0.07	DRAINAGE EASEMENT/ RETENTION / LANDSCAPE
F	0.67	DRAINAGE EASEMENT/ RETENTION / LANDSCAPE
G	0.02	LANDSCAPE
H	0.02	LANDSCAPE
I	0.05	LANDSCAPE
J	0.04	LANDSCAPE
TOTAL	2.62	

LEGEND

- MONUMENT LINE
- SUBDIVISION BOUNDARY
- INTERIOR PROPERTY LINE
- PUBLIC UTILITY EASEMENT LINE
- VEHICULAR NON ACCESS EASEMENT LINE
- SIGHT VISIBILITY TRIANGLE LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
- M.U.T.E. MULTI-USE TRAIL EASEMENT
- S.W.E. SIDEWALK EASEMENT
- S.V.T. 33'X33' SIGHT VISIBILITY TRIANGLE
- ◆ SECTION QUARTER CORNER, AS NOTED
- CENTERLINE MONUMENT (BRASS CAP FLUSH; M.A.G. DTL. 120, TYPE B)
- ▲ CORNER OF SUBDIVISION (AS NOTED)

FINAL PLAT FOR "BASELINE PLACE"

AN R1-6 PLANNED RESIDENTIAL DEVELOPMENT
 SUBJECT TO SINGLE FAMILY-DESIGN REVIEW
 A PORTION OF THE NORTHWEST QUARTER OF SECTION 5
 T1S, R3E, G&SRB&M, PHOENIX, MARICOPA COUNTY, ARIZONA



KEY MAP

SCALE: 1"=100'

OWNER/DEVELOPER

CLEMENCE J. MILUS
 1017 E. BUTLER AVENUE
 PHOENIX, AZ 85020

ENGINEER/SURVEYOR

M2 GROUP, INC.
 4852 E. BASELINE ROAD
 SUITE 107
 MESA, ARIZONA 85206
 PH: (480) 539-7497
 FAX: (480) 539-2810
 CONTACT: TOM PALMER

SITE DATA

GROSS ACREAGE 15.97 AC
 YIELD 75 LOTS

NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- A MINIMUM 20' SETBACK (18' IF VERTICALLY OPENING GARAGE DOORS ARE PROVIDED) WILL BE PROVIDED FROM BACK OF SIDEWALK TO FACE OF GARAGE DOOR.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- EACH LOT CONSTITUTES A BUILDING ENVELOPE AND ACCESSORY USES SUCH AS POOLS, PRIVACY WALLS AND ACCESSORY STRUCTURES ARE PERMITTED EXCEPT AS OTHERWISE REGULATED BY OTHER CITY CODES AND ORDINANCES.
- AN ASSOCIATION, INCLUDING ALL PROPERTY OWNERS IN THE DEVELOPMENT, WILL BE FORMED AND HAVE RESPONSIBILITY FOR MAINTAINING ALL COMMON AREAS TO BE NOTED AS "TRACTS" OR EASEMENTS, INCLUDING PRIVATE STREETS, LANDSCAPE AREAS, AND DRAINAGE FACILITIES IN ACCORDANCE WITH APPROVED PLANS.
- NO STRUCTURE OF ANY KIND SHALL BE CONSTRUCTED ON, OVER OR PLACED WITHIN THE PUBLIC EASEMENTS EXCEPT GRASS AND/OR GROUND COVER APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT LANDSCAPE ARCHITECT. IT SHALL BE FURTHER UNDERSTOOD THAT THE CITY OF PHOENIX SHALL NOT BE REQUIRED TO REPLACE ANY OBSTRUCTION, PAVING OR VEGETATION THAT BECOMES DAMAGED OR MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION, RECONSTRUCTION OR REPAIR.
- NO STRUCTURE OF ANY KIND BE CONSTRUCTED ON, OVER, OR PLACED WITHIN THE SANITARY SEWER EASEMENT EXCEPT PUBLIC SANITARY SEWER MAINS, PAVING, WOODEN, WIRE OR REMOVABLE SECTION TYPE FENCING. THE TRUNKS OF LARGE LANDSCAPING PLANTS SUCH AS PALO VERDE AND MESQUITE TREES SHALL BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM THE OUTSIDE EDGE OF THE SANITARY SEWER PIPE. NO VEGETATION SHALL BE PLANTED WITHIN THE EASEMENT EXCEPT GRASS AND/OR GROUND COVER APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT LANDSCAPE ARCHITECT. IT SHALL BE FURTHER UNDERSTOOD THAT THE CITY OF PHOENIX SHALL NOT BE REQUIRED TO REPLACE ANY OBSTRUCTIONS, PAVING OR VEGETATION THAT BECOMES DAMAGED OR MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION, RECONSTRUCTION OR REPAIR.
- THIS PLAT HAS ADDITIONAL CONDITIONS OF APPROVAL (DESCRIBED IN A SUBDIVISION DIVERSITY DEVELOPMENT AGREEMENT ON FILE WITH THE CITY OF PHOENIX DEVELOPMENT SERVICES DEPARTMENT) WHICH MUST BE SATISFIED PRIOR TO INDIVIDUAL BUILDING PERMIT RELEASE.
- NO STRUCTURE OF ANY KIND BE CONSTRUCTED OR ANY VEGETATION BE PLANTED NOR BE ALLOWED TO GROW WITHIN THE DRAINAGE EASEMENT OR TRACT WHICH WOULD IMPEDE THE FLOW OF WATER OVER, UNDER, OR THROUGH THE EASEMENT OR TRACT. THE CITY OF PHOENIX MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND IN THE EASEMENTS OR TRACTS.
- ADDITIONAL INDIVIDUAL LOT REQUIREMENTS (I.E., SETBACKS, EASEMENTS, ZONING BOUNDARIES) ARE LOCATED ON THE APPROVED FINAL SITE PLAN.
- ALL EASEMENTS ARE SUBORDINATE TO THE DRAINAGE EASEMENTS.
- EACH LOT IN THIS SUBDIVISION IS PERMITTED ONE DWELLING UNIT FOR A TOTAL OF 75 DWELLINGS WITHIN THE ENTIRE SUBDIVISION.

CERTIFICATION

I, PETER M. ROSSI HEREBY CERTIFY, THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA, THAT THIS MAP CONSISTING OF THREE (3) SHEETS, CORRECTLY REPRESENTS A SURVEY MADE UNDER MY DIRECTION DURING THE MONTH OF JUNE 2003, THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT THE MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN, THAT THEIR POSITIONS ARE CORRECT AND ACCURATE AS SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

PETER M. ROSSI, RLS #26931

644-18

BOOK 644 PAGE 18
 OFFICIAL RECORDS OF
 MARICOPA COUNTY RECORDER
 HELEN PURCELL
 2003-0959056



M2 Group, Inc.
 4852 E. Baseline Road
 Suite 107
 Mesa, Arizona 85206
 Tel: (480) 539-7497
 Fax: (480) 539-2810

m2 group
 Civil Engineering

FINAL PLAT
 BASELINE PLACE
 PHOENIX, AZ

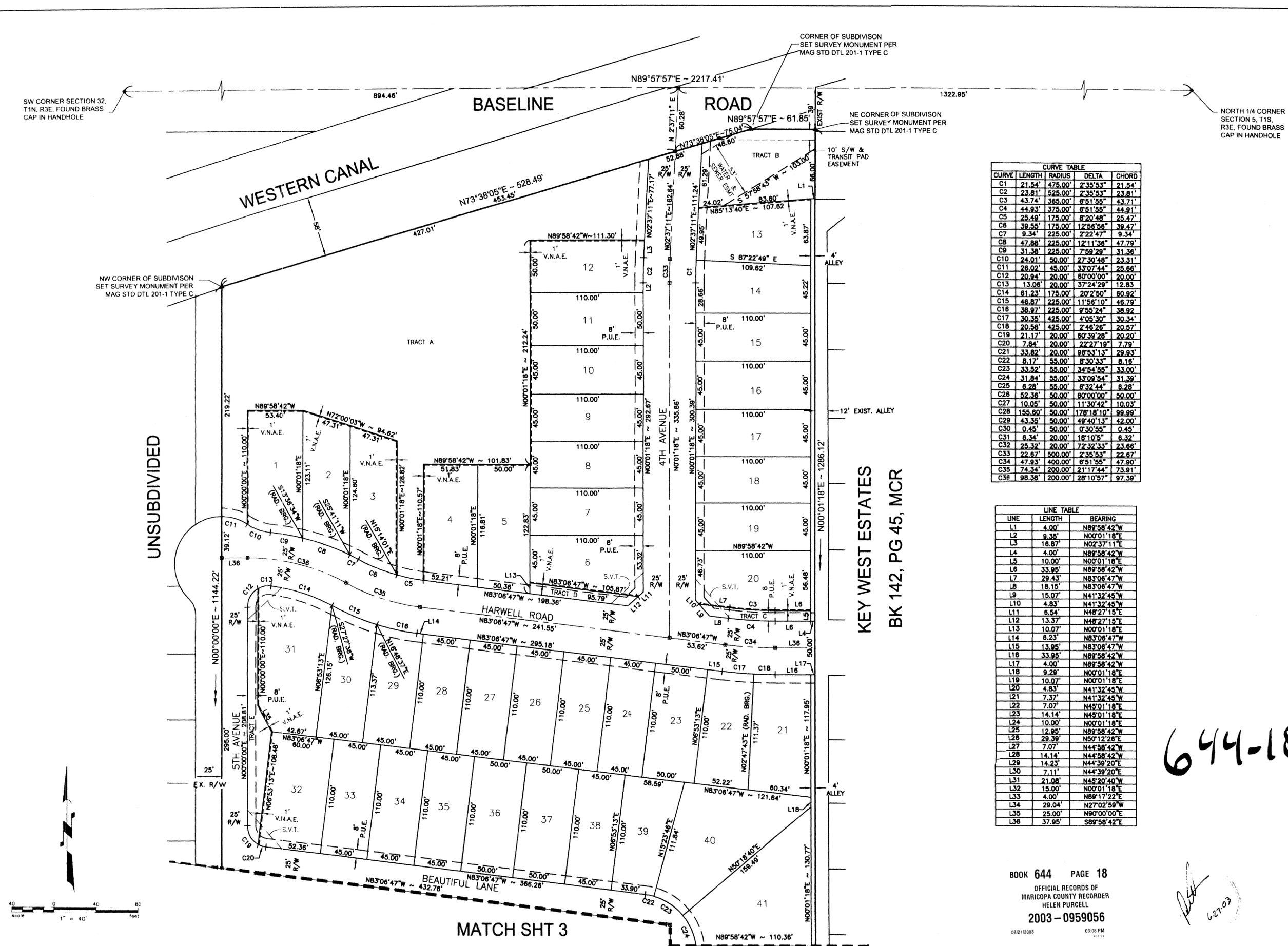
JOB NO.
 02067CH

2067FP01.DWG

SHEET NO.
 1

1 OF 3

02067CH - BASELINE PLACE



CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	21.54'	475.00'	2°35'53"	21.54'
C2	23.81'	525.00'	2°35'53"	23.81'
C3	43.74'	385.00'	6°51'55"	43.71'
C4	44.93'	375.00'	6°51'55"	44.91'
C5	25.49'	175.00'	8°20'48"	25.47'
C6	39.55'	175.00'	12°58'56"	39.47'
C7	9.34'	225.00'	2°22'47"	9.34'
C8	47.88'	225.00'	12°11'36"	47.79'
C9	31.38'	225.00'	7°59'29"	31.36'
C10	24.01'	50.00'	27°30'48"	23.31'
C11	26.02'	45.00'	33°07'44"	25.66'
C12	20.94'	20.00'	60°00'00"	20.00'
C13	13.06'	20.00'	37°24'29"	12.83'
C14	61.23'	175.00'	20°2'50"	60.92'
C15	46.87'	225.00'	11°58'10"	46.79'
C16	38.97'	225.00'	9°55'24"	38.92'
C17	30.35'	425.00'	4°05'30"	30.34'
C18	20.58'	425.00'	2°46'26"	20.57'
C19	21.17'	20.00'	60°38'28"	20.20'
C20	7.84'	20.00'	22°27'19"	7.79'
C21	33.82'	20.00'	98°53'13"	29.93'
C22	8.17'	55.00'	8°30'33"	8.16'
C23	33.52'	55.00'	34°54'54"	33.00'
C24	31.84'	55.00'	33°09'54"	31.39'
C25	6.28'	55.00'	6°32'44"	6.28'
C26	52.36'	50.00'	80°00'00"	50.00'
C27	10.05'	50.00'	11°30'42"	10.03'
C28	155.80'	50.00'	178°18'10"	99.89'
C29	43.35'	50.00'	49°40'13"	42.00'
C30	0.45'	50.00'	0°30'55"	0.45'
C31	6.34'	20.00'	18°10'5"	6.32'
C32	25.32'	20.00'	72°32'33"	23.66'
C33	22.67'	500.00'	2°35'53"	22.67'
C34	47.93'	400.00'	6°51'55"	47.90'
C35	74.34'	200.00'	21°17'44"	73.91'
C36	98.38'	200.00'	28°10'57"	97.39'

LINE	LENGTH	BEARING
L1	4.00'	N89°58'42"W
L2	9.35'	N00°01'18"E
L3	16.87'	N02°37'11"E
L4	4.00'	N89°58'42"W
L5	10.00'	N00°01'18"E
L6	33.95'	N89°58'42"W
L7	29.43'	N83°08'47"W
L8	18.15'	N83°08'47"W
L9	15.07'	N41°32'45"W
L10	4.83'	N41°32'45"W
L11	6.54'	N48°27'15"E
L12	13.37'	N48°27'15"E
L13	10.07'	N00°01'18"E
L14	6.23'	N83°08'47"W
L15	13.95'	N83°08'47"W
L16	33.95'	N89°58'42"W
L17	4.00'	N89°58'42"W
L18	9.29'	N00°01'18"E
L19	10.07'	N00°01'18"E
L20	4.83'	N41°32'45"W
L21	7.37'	N41°32'45"W
L22	7.07'	N48°01'18"E
L23	14.14'	N48°01'18"E
L24	10.00'	N00°01'18"E
L25	12.95'	N89°58'42"W
L26	29.39'	N50°12'26"E
L27	7.07'	N44°58'42"W
L28	14.14'	N44°58'42"W
L29	14.23'	N44°39'20"E
L30	7.11'	N44°39'20"E
L31	21.08'	N45°20'40"W
L32	15.00'	N00°01'18"E
L33	4.00'	N89°17'22"E
L34	29.04'	N27°02'59"W
L35	25.00'	N80°00'00"E
L36	37.95'	S89°58'42"E

BOOK 644 PAGE 18
 OFFICIAL RECORDS OF
 MARICOPA COUNTY RECORDER
 HELEN PURCELL
 2003-0959056

644-18

[Handwritten signature]
 6-27-03



REVISIONS:

M2 Group, Inc.
 4852 E. Baseline Road
 Suite 107
 Mesa, Arizona 85206
 tel: (480) 539-7497
 fax: (480) 539-2810

m2 group
 Civil Engineering

PROJECT: **FINAL PLAT**
BASELINE PLACE

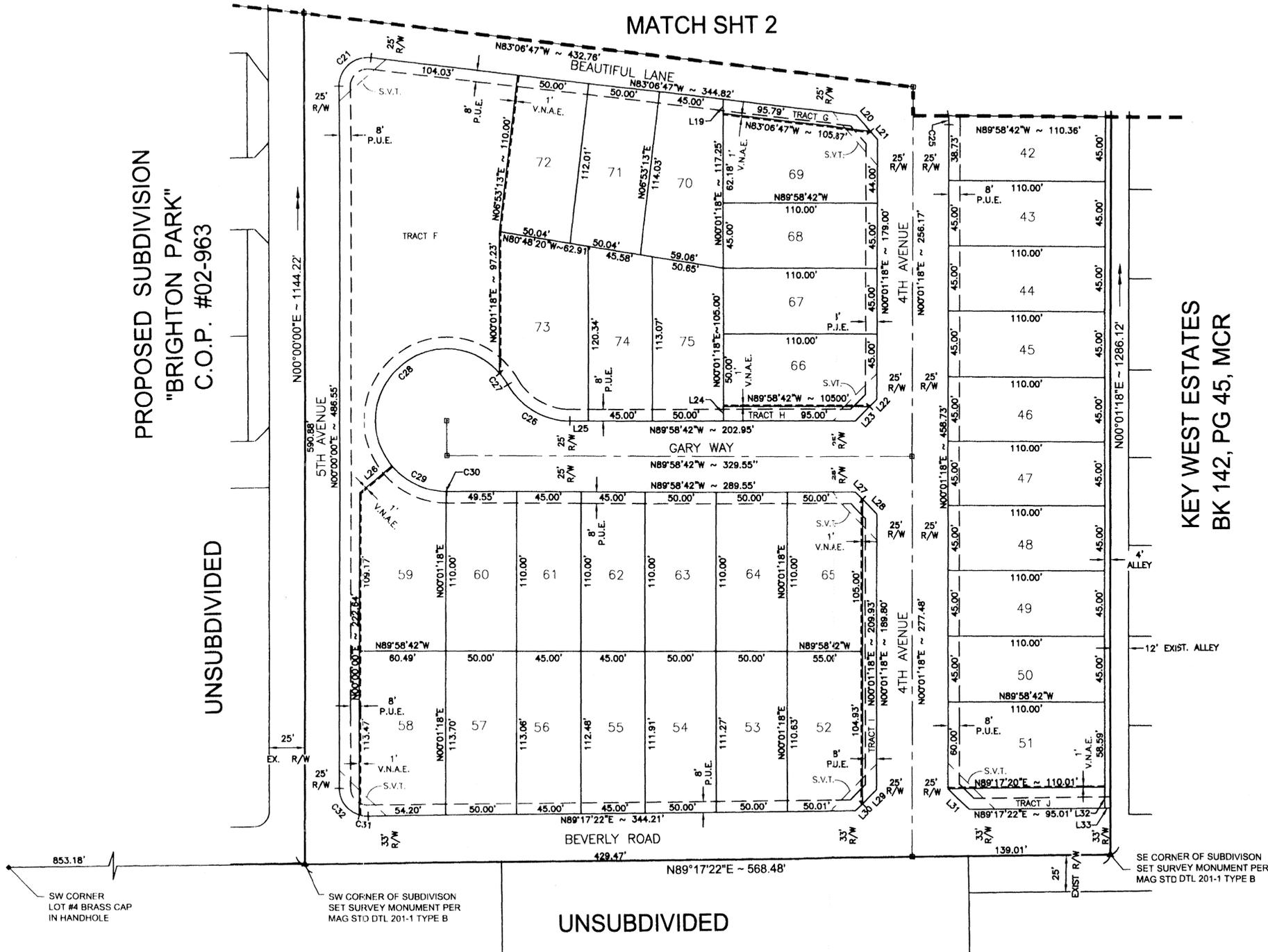
JOB NO. 02067CH
 2067FP02.C
 SHEET NO. **2**
 2 OF 3

02067CH - BASELINE PLACE

PROPOSED SUBDIVISION
"BRIGHTON PARK"
C.O.P. #02-963

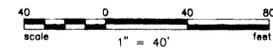
UNSUBDIVIDED

UNSUBDIVIDED



CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	21.54'	475.00'	2°35'53"	21.54'
C2	23.81'	525.00'	2°35'53"	23.81'
C3	43.74'	385.00'	6°51'55"	43.71'
C4	44.93'	375.00'	6°51'55"	44.91'
C5	25.49'	175.00'	8°20'48"	25.47'
C6	39.55'	175.00'	12°56'56"	39.47'
C7	9.34'	225.00'	2°22'47"	9.34'
C8	47.88'	225.00'	12°11'36"	47.79'
C9	31.36'	225.00'	7°59'29"	31.36'
C10	24.01'	50.00'	27°30'48"	23.31'
C11	26.02'	45.00'	33°07'44"	25.66'
C12	20.94'	20.00'	60°00'00"	20.00'
C13	13.06'	20.00'	37°24'29"	12.83'
C14	61.23'	175.00'	20°2'50"	60.92'
C15	46.87'	225.00'	11°56'10"	46.79'
C16	38.97'	225.00'	9°55'24"	38.92'
C17	30.35'	425.00'	4°05'30"	30.34'
C18	20.58'	425.00'	2°46'26"	20.57'
C19	21.17'	20.00'	60°39'28"	20.20'
C20	7.84'	20.00'	22°27'19"	7.79'
C21	33.82'	20.00'	95°53'13"	29.93'
C22	6.17'	55.00'	6°30'33"	6.16'
C23	33.52'	55.00'	34°54'55"	33.00'
C24	31.84'	55.00'	33°09'54"	31.39'
C25	6.28'	55.00'	6°32'44"	6.28'
C26	52.36'	50.00'	60°00'00"	50.00'
C27	10.05'	50.00'	11°30'42"	10.03'
C28	155.60'	50.00'	178°18'10"	99.99'
C29	43.35'	50.00'	49°40'13"	42.00'
C30	4.45'	50.00'	0°30'55"	4.45'
C31	6.34'	20.00'	18°10'5"	6.32'
C32	25.32'	20.00'	72°32'33"	23.66'
C33	22.67'	500.00'	2°35'53"	22.67'
C34	47.93'	400.00'	6°51'55"	47.90'
C35	74.34'	200.00'	21°17'44"	73.91'
C36	98.38'	200.00'	28°10'57"	97.39'

LINE	LENGTH	BEARING
L1	4.00'	N89°58'42"W
L2	9.35'	N00°01'18"E
L3	16.87'	N02°37'11"E
L4	4.00'	N89°58'42"W
L5	10.00'	N00°01'18"E
L6	33.95'	N89°58'42"W
L7	29.43'	N83°06'47"W
L8	18.15'	N83°06'47"W
L9	15.07'	N41°32'45"W
L10	4.83'	N41°32'45"W
L11	6.54'	N48°27'15"E
L12	13.37'	N48°27'15"E
L13	10.07'	N00°01'18"E
L14	6.23'	N83°06'47"W
L15	13.95'	N83°06'47"W
L16	33.95'	N89°58'42"W
L17	4.00'	N89°58'42"W
L18	9.29'	N00°01'18"E
L19	10.07'	N00°01'18"E
L20	4.83'	N41°32'45"W
L21	7.37'	N41°32'45"W
L22	7.07'	N45°01'18"E
L23	14.14'	N45°01'18"E
L24	10.00'	N00°01'18"E
L25	12.95'	N89°58'42"W
L26	29.39'	N50°12'26"E
L27	7.07'	N44°58'42"W
L28	14.14'	N44°58'42"W
L29	14.23'	N44°39'20"E
L30	7.11'	N44°39'20"E
L31	21.08'	N45°20'40"W
L32	15.00'	N00°01'18"E
L33	4.00'	N89°17'22"E
L34	29.04'	N27°02'50"W
L35	25.00'	N90°00'00"E
L36	37.95'	S89°58'42"E



644-18

BOOK 644 PAGE 18

OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL

2003 - 0959056

07/21/2003

03:08 PM

REVISIONS:

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m2 group
Civil Engineering

FINAL PLAT

PROJECT:
BASELINE PLACE
PHOENIX, AZ

JOB NO.
02067CH

2067FP03

SHEET NO.
3

3 OF 3

FINAL SITE PLAN

02067CH - BASELINE PLACE

GRADING AND DRAINAGE PLAN

FOR "BASELINE PLACE"

A PORTION OF THE NORTHWEST QUARTER OF SECTION 5 T1S, R3E, G&SRB&M, PHOENIX, MARICOPA COUNTY, ARIZONA

GENERAL NOTES

- A GRADING PERMIT IS REQUIRED UNDER CHAPTER 32A OF THE PHOENIX CITY CODE.
- HAUL PERMITS, WHEN REQUIRED, MUST BE OBTAINED PRIOR TO CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
- EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
- DEVELOPMENT SERVICES DEPARTMENT'S FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS. TELEPHONE (602) 282-7811.
- STAKING PAD AND ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT ONE SEALED COPY OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM THE 100 YEAR FLOOD OR PER MINIMUM SPECIFIED IN THE CITY OF PHOENIX STORM DRAIN DESIGN MANUAL, WHICHEVER IS GREATER.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALL, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS.
- CONTRACTOR SHALL PROVIDE LEVEL BOTTOM IN ALL RETENTION BASINS AT ELEVATIONS SHOWN ON THE PLANS. SLOPE PROTECTION SHALL BE APPLIED TO PREVENT EROSION.
- GRADES IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUBCONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC. IN THE BASINS, THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATIONS TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREA. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION OF BASIN CONFIGURATION WITH THE CITY INSPECTOR TO DETERMINE IF A PLAN REVISION OR A FIELD CHANGE IS REQUIRED.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALL, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- RETENTION BASIN SIDE SLOPES SHALL BE A MAXIMUM OF 4:1 UNLESS APPROVAL IS RECEIVED FROM THE PLAN REVIEWER FOR A STEEPER SLOPE.
- ALL KNOWN EXISTING UNDERGROUND UTILITIES WITHIN PROPOSED RETENTION AREAS HAVE BEEN DESIGNED TO MAINTAIN A MINIMUM SPECIFIED BY OTHER UTILITY OWNERS.
- REQUIRED RETAINING WALLS SHOWN ON THE GRADING AND DRAINAGE PLANS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE BUILDING SAFETY BRANCH OF THE DEVELOPMENT SERVICES DEPARTMENT.
- CERTIFICATE OF OCCUPANCY (C. OF O.) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
- EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
- THE ENGINEERING DESIGN ON THESE PLANS ARE ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (SOUTH RESOURCE BUREAU) OR (602) 495-6784 (NORTH RESOURCE BUREAU).
- PAD CERTIFICATIONS WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SHALL BE SUBMITTED TO THE CIVIL/SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTION IN THE RIGHT-OF-WAY. PAD CERTIFICATIONS CAN BE SUBMITTED TO THE CIVIL/SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT, SHOWING THE DESIGN AND AS-BUILT PAD ELEVATIONS AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS-BUILT PLAN AND LETTER BE SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.

ENGINEER'S NOTE:

THE CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICE OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS AND SHALL PROVIDE ASSISTANCE CALLED FOR BY THE ENGINEER OR HIS ASSISTANTS UPON ANY PART OF THE WORK WHENEVER SO REQUESTED, AND SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSES INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.

ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH THE SOILS INVESTIGATION REPORT PREPARED BY "CONSTRUCTION INSPECTION & TESTING CO." ON DECEMBER 10, 2002.

ESTIMATED EARTHWORKS

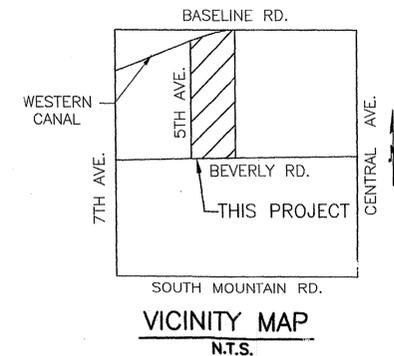
CUT = 22,500 C.Y.
 FILL = 14,500 C.Y.
 NET = 8,000 C.Y. (CUT)

ABOVE NUMBERS DO NOT ACCOUNT FOR P.C. COMPACTION, SHRINK/SWELL, OR LOSSES DUE TO OVER-EXCAVATION. ALL GRADING AND CONSTRUCTION ON THIS SITE SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS REPORT (SEE NOTE #21, ABOVE), AND ANY EXCESS MATERIAL SHALL BE USED ON-SITE. NUMBERS SHOWN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN INDEPENDENT EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.

ESTIMATED QUANTITIES

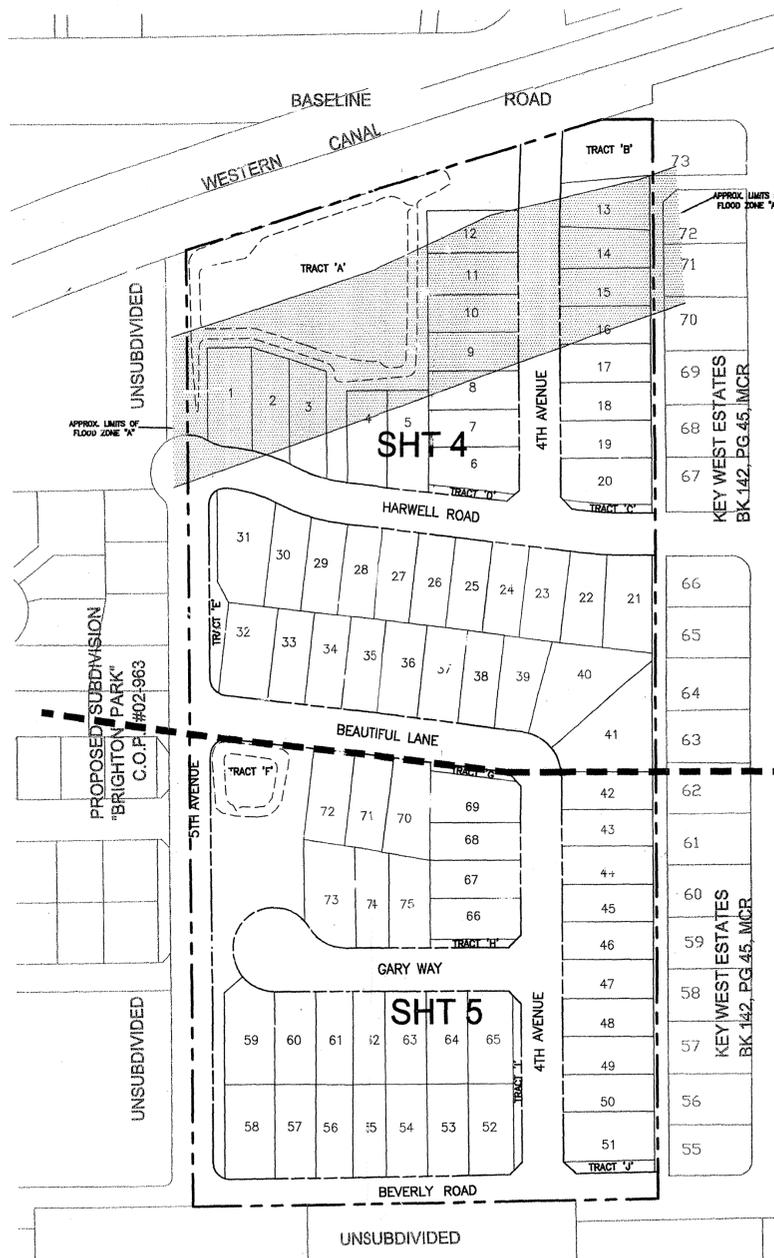
ESTIMATED QUANTITIES	TOTAL
U-SHAPED HEADWALL, MAG 501-1	3 EA
15" R.G.R.C.P. CLASS III STORM DRAIN PIPE	270 LF
30" R.G.R.C.P. CLASS III STORM DRAIN PIPE	34 LF
2.3' HIGH RETAINING WALL	360 LF
3.3' HIGH RETAINING WALL	45 LF

ABOVE ENGINEERS QUANTITIES ARE FOR ESTIMATING PURPOSES ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN QUANTITY TAKEOFFS. ENGINEER MAKES NO GUARANTEE OF ACCURACY.



LEGEND

	PROPOSED TOP OF CURB ELEV.
	DIRECTION & GRADE OF SLOPE
	FINISHED FLOOR & PAD ELEV.
	EXISTING CONTOUR ELEV.
	PROPOSED CONTOUR ELEV.
	GRADE BREAK
	GRADE CHANGE
	PROPOSED STORM DRAIN PIPE
	PROPOSED CATCH BASIN
	PROPOSED TC & GUTTER ELEV.
	EXISTING TC & GUTTER ELEV.
	PROPOSED VERTICAL CURB & GUTTER
	REAR YARD GRADE
	TOP / BOTTOM OF WALL GRADE
	RETAINING WALL



KEY MAP
SCALE: 1"=100'

OWNER / DEVELOPER

C. CURTIS CONSTRUCTION COMPANY
 8679 E. SAN ALBERTO DRIVE
 SUITE 100
 SCOTTSDALE, AZ 85258
 PH: (480) 998-1999
 CONTACT: SCOTT CURTIS

ENGINEER

M2 GROUP, INC.
 4852 E. BASELINE ROAD
 SUITE 107
 MESA, ARIZONA 85206
 PH: (480) 539-7497
 FAX: (480) 539-2810
 CONTACT: TOM PALMER

BENCHMARK

BRASS CAP IN HAND HOLE AT THE INTERSECTION OF BASELINE ROAD AND 7TH AVENUE (SOUTH).
 ELEVATION = 1155.44 FT. (CITY OF PHOENIX DATUM)

SITE AREA

GROSS AREA = 15.97 ACRES
 NET AREA = 12.35 ACRES

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND-SURVEYOR/ENGINEER

38796
 REGISTRATION NUMBER

1/29/04
 DATE



These plans were prepared by the Development Services Department. The issuance of the following permits:

Grading	Ph.	Date
SWMP	Ph.	Date
Paving	Ph.	Date
Concrete	Ph.	Date
Drain. Fac.	Ph.	Date
Water	Ph.	Date
Wastewater	Ph.	Date
Misc	Ph.	Date

City of Phoenix
 These plans have been approved by the Development Services Department for the issuance of the following permits:

Grading	Ph.	Date
SWMP	Ph.	Date
Paving	Ph.	Date
Concrete	Ph.	Date
Drain. Fac.	Ph.	Date
Water	Ph.	Date
Wastewater	Ph.	Date
Misc	Ph.	Date

GRADING & DRAINAGE PLAN

BASELINE PLACE

PROJECT:

CALL THE WORKING DAYS (602) 263-1100 1-800-STAKE-IT (OUTSIDE MARICOPA COUNTY)



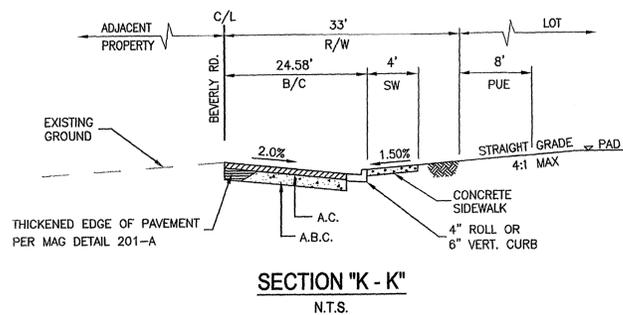
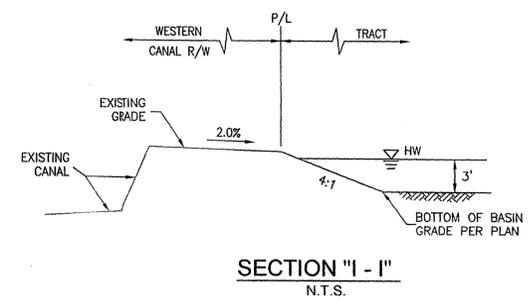
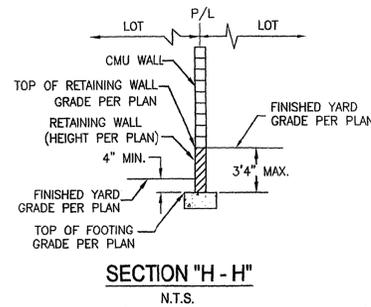
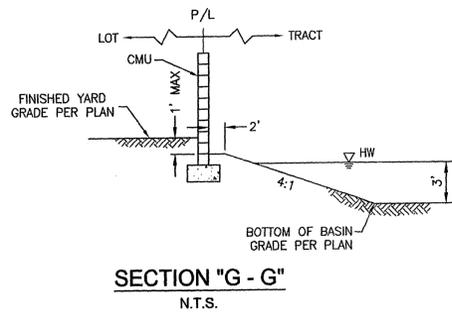
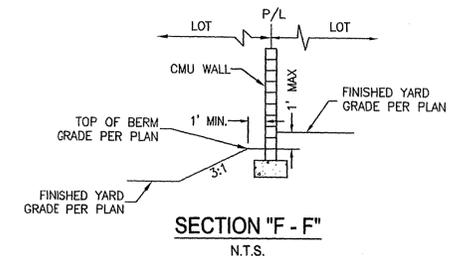
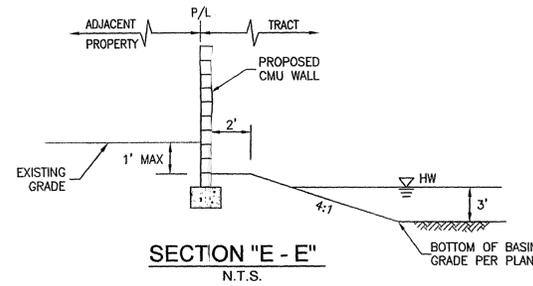
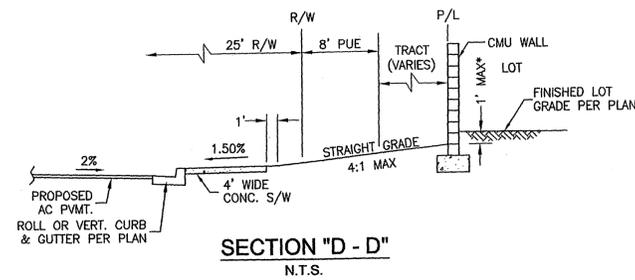
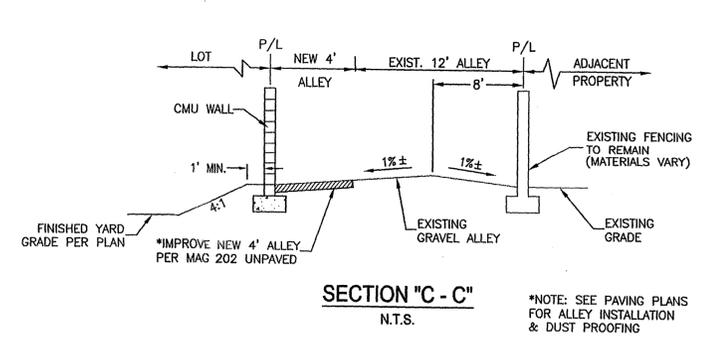
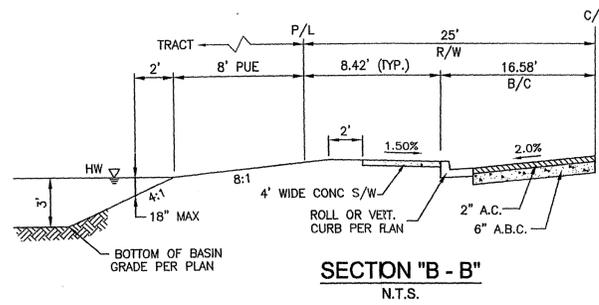
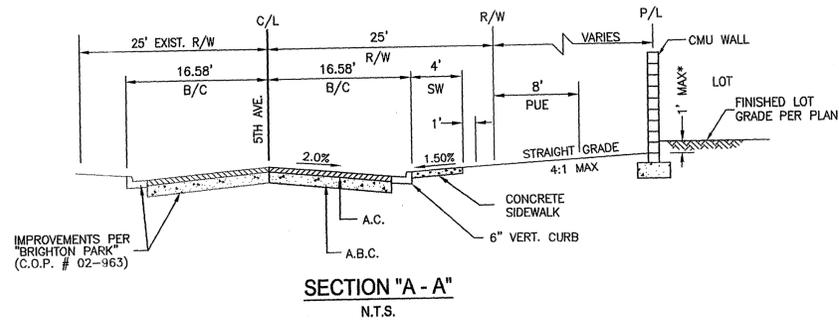
JOB NO.
02067CH

2067GC01.DWG

SHEET NO.

1

1 of 5



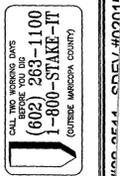
REVISIONS:

M2 Group, Inc.
4852 E. Baseline Road
Suite 107
Mesa, Arizona 85208
Tel: (480) 538-7497
Fax: (480) 539-2810



GRADING DETAILS
PROJECT:
BASELINE PLACE
PHOENIX, AZ

CALL TWO WORKING DAYS
(802) 263-1100
1-800-STAKE-IT
(OUTSIDE ARIZONA COUNTY)



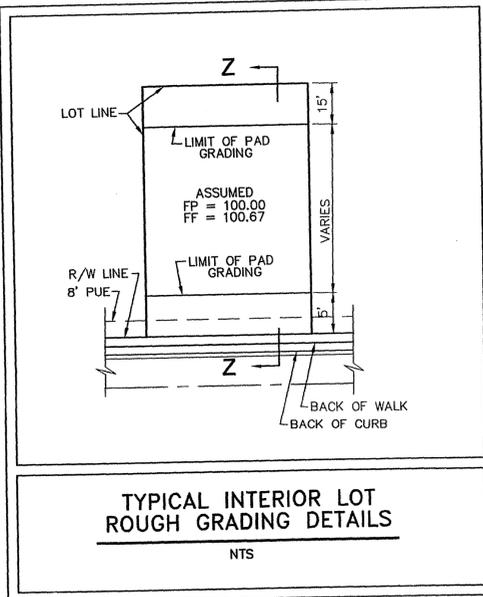
JOSÉ L. MONTOYA
24420
STATE OF ARIZONA

JOB NO.
02067CH

2067GD01.DWG

SHEET NO.
2

2 OF 5



TYPICAL INTERIOR LOT ROUGH GRADING DETAILS
NTS

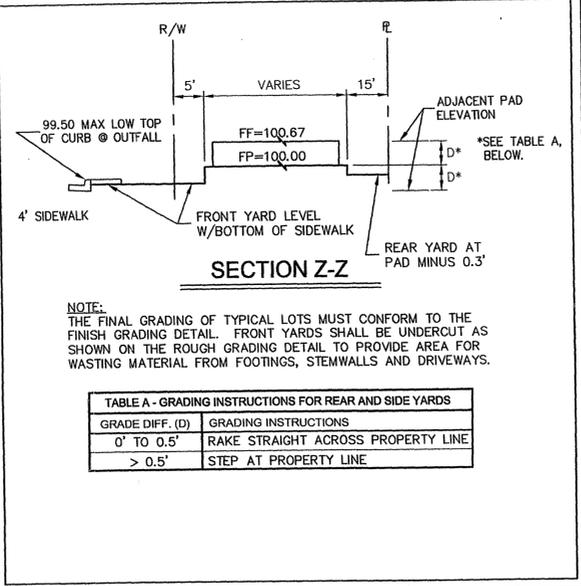
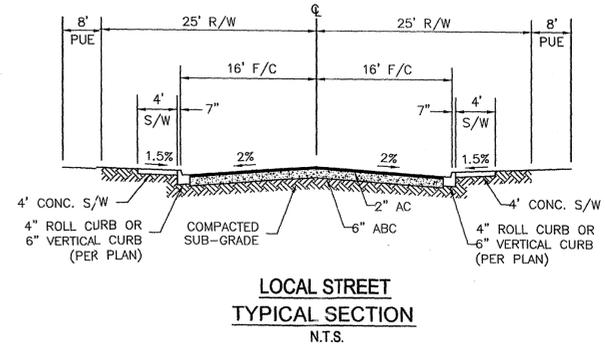


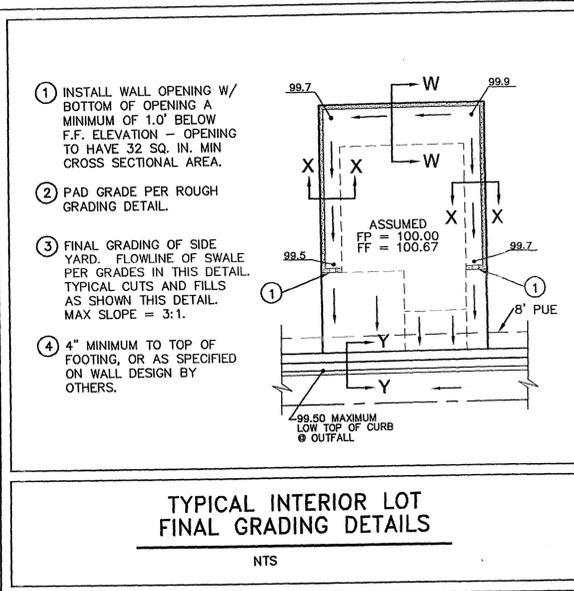
TABLE A - GRADING INSTRUCTIONS FOR REAR AND SIDE YARDS

GRADE DIFF. (D)	GRADING INSTRUCTIONS
0' TO 0.5'	RAKE STRAIGHT ACROSS PROPERTY LINE
> 0.5'	STEP AT PROPERTY LINE

NOTE: THE FINAL GRADING OF TYPICAL LOTS MUST CONFORM TO THE FINISH GRADING DETAIL. FRONT YARDS SHALL BE UNDERCUT AS SHOWN ON THE ROUGH GRADING DETAIL TO PROVIDE AREA FOR WASTING MATERIAL FROM FOOTINGS, STEMWALLS AND DRIVEWAYS.

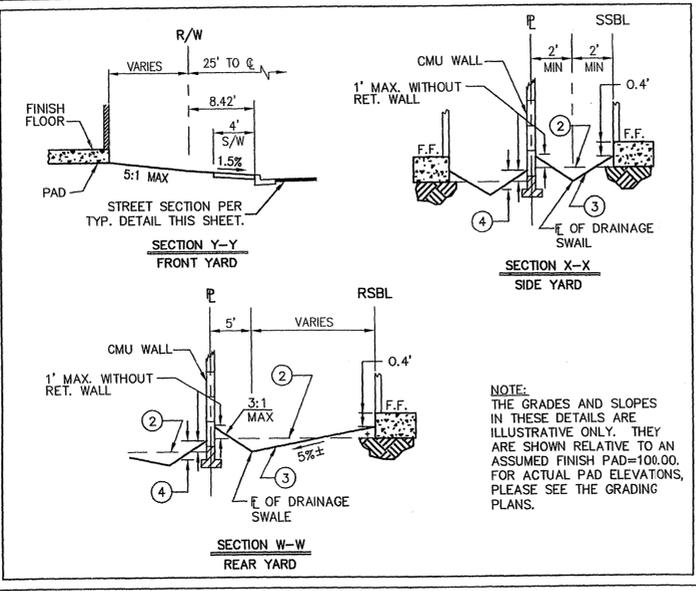


LOCAL STREET TYPICAL SECTION
N.T.S.



TYPICAL INTERIOR LOT FINAL GRADING DETAILS
NTS

- INSTALL WALL OPENING W/ BOTTOM OF OPENING A MINIMUM OF 1.0' BELOW F.F. ELEVATION - OPENING TO HAVE 32 SQ. IN. MIN CROSS SECTIONAL AREA.
- PAD GRADE PER ROUGH GRADING DETAIL.
- FINAL GRADING OF SIDE YARD. FLOWLINE OF SWALE PER GRADES IN THIS DETAIL. TYPICAL CUTS AND FILLS AS SHOWN THIS DETAIL. MAX SLOPE = 3:1.
- 4" MINIMUM TO TOP OF FOOTING, OR AS SPECIFIED ON WALL DESIGN BY OTHERS.



NOTE: THE GRADES AND SLOPES IN THESE DETAILS ARE ILLUSTRATIVE ONLY. THEY ARE SHOWN RELATIVE TO AN ASSUMED FINISH PAD=100.00. FOR ACTUAL PAD ELEVATIONS, PLEASE SEE THE GRADING PLANS.

REVISIONS

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4862 E. Baseline Road
Suite 107
Mesa, Arizona 85206
Tel: (480) 599-7497
Fax: (480) 599-2810

m2 group
Civil Engineering

GRADING DETAILS
PROJECT: BASELINE PLACE
PHOENIX, AZ

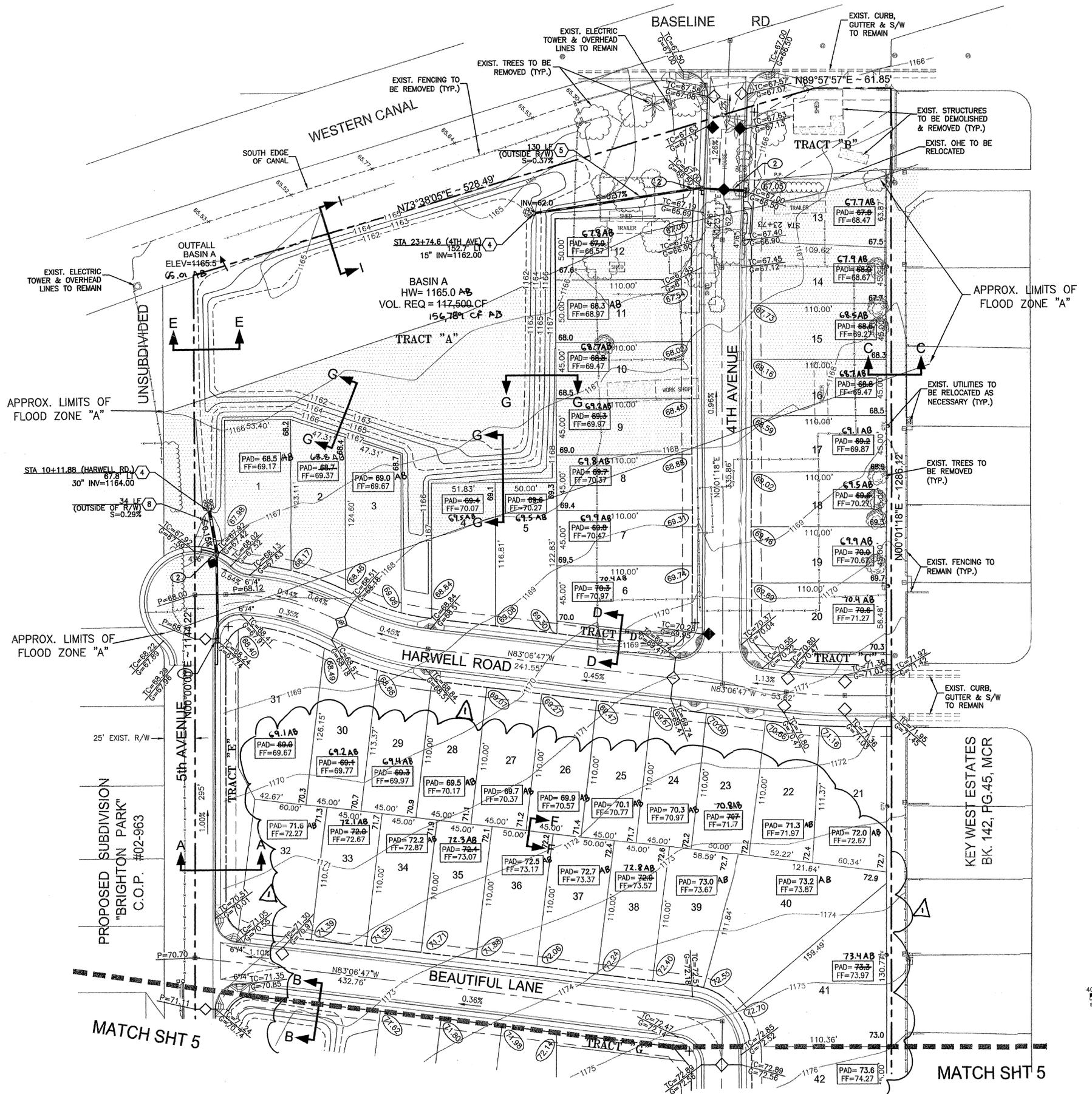
CALL TWO WORKING DAYS BEFORE 2067-1100
(602) 263-1100
1-800-STAKE-IT
(outside Maricopa County)

APPROVED
24420
JOSE L. MONTANO
P.E.
ARIZONA, U.S.A.

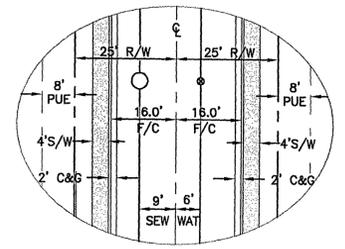
JOB NO.
02067CH
2067GD02.DWG
SHEET NO.
3
3 OF 5

PLAT# 030055 CSRP#0300815 QS 1-27 KIVA #02-3511 SDEV #0201524

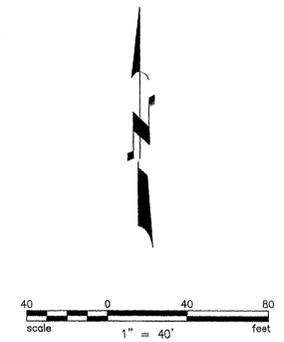
02067CH - BASELINE PLACE



CONSTRUCTION NOTES		
--- STORM DRAIN NOTES ---		
④	U-SHAPED HEADWALL, MAG 501-1 W/ HANDRAIL PER C.O.P. P1173 & ACCESS BARRIER C.O.P. P1563 (450=8" GROUTED RIP-RAP AS SHOWN)	2 EA
⑤	15" R.G.R.C.P. CLASS III STORM DRAIN PIPE	130 LF
⑥	30" R.G.R.C.P. CLASS III STORM DRAIN PIPE	34 LF
--- GRADING NOTES ---		
②	SEE PAVING PLANS FOR STORM DRAIN CONTINUATION & PROFILE	--



TYPICAL STREET DIMENSIONS
LOCAL STREET
(LOOKING NORTH & WEST - NTS)



REVISIONS:
 A 10/19/03 - Revised Interior Portions of Site

M2 Group, Inc.
 4852 E. Baseline Road
 Suite 107
 Mesa, Arizona 85206
 Tel: (480) 539-7487
 Fax: (480) 539-2810

GRADING & DRAINAGE PLAN
 PROJECT:
 02067CH

BASELINE PLACE
 PHOENIX, AZ

CALL THE NUMBERED TABS
 TO SEE THE WORK YOU DO

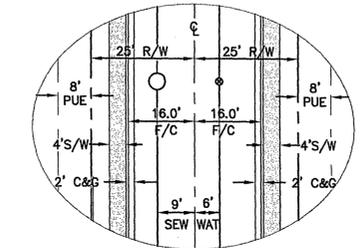
(602) 263-1100
 1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

JOB NO.
 02067CH
 2067GP01.DWG
 SHEET NO.
4
 4 OF 5

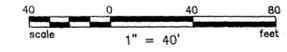
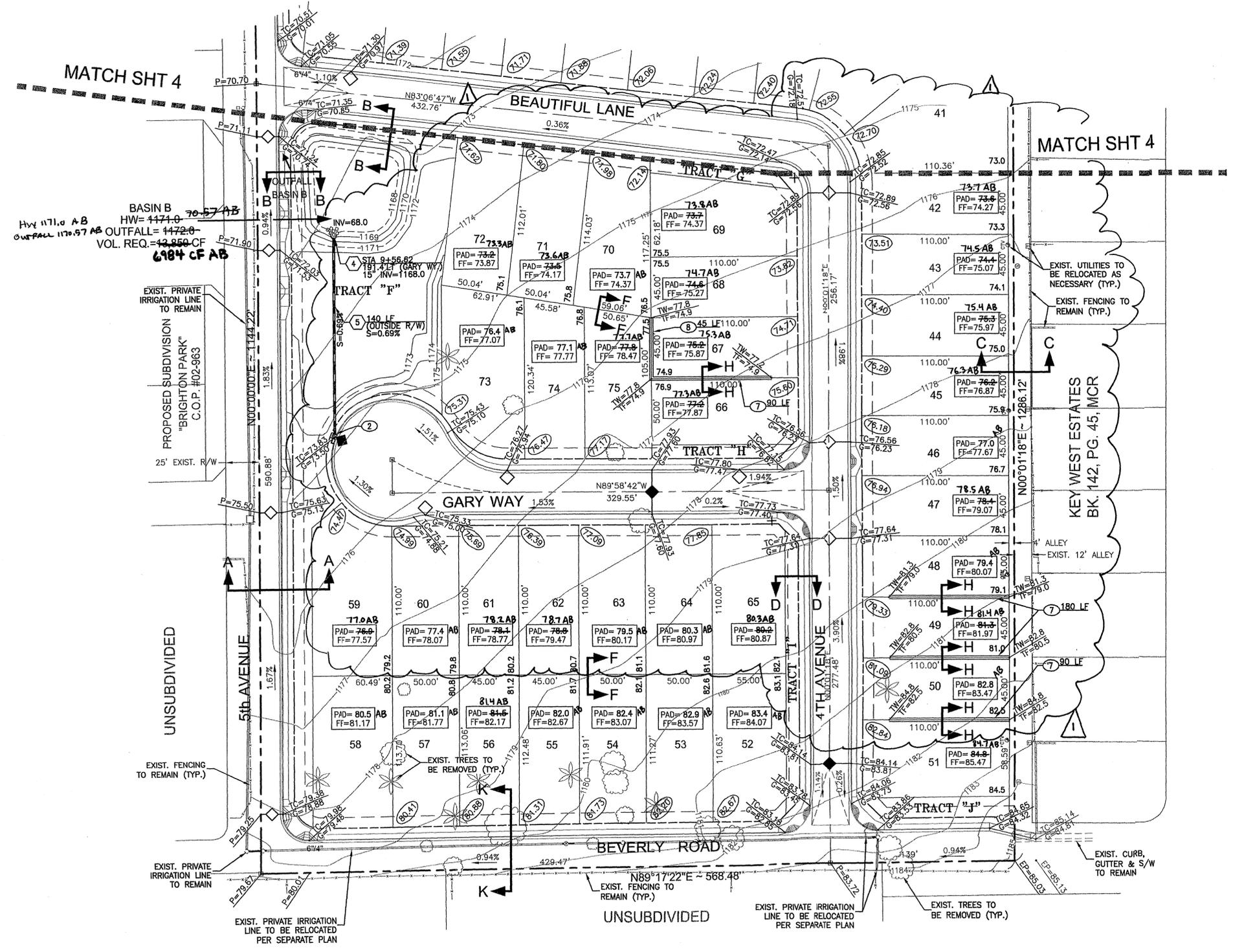
02067CH - BASELINE PLACE

CONSTRUCTION NOTES

--- STORM DRAIN NOTES ---	
④ U-SHAPED HEADWALL, MAG 501-1 W/ HANDRAIL PER C.O.P. P1173 & ACCESS BARRIER C.O.P. P1563 (d50=8" GROUTED RIP-RAP AS SHOWN)	1 EA
⑤ 15" R.G.R.C.P. CLASS III STORM DRAIN PIPE	140 LF
--- GRADING NOTES ---	
② SEE PAVING PLANS FOR STORM DRAIN CONTINUATION & PROFILE	--
⑦ CONSTRUCT 2.3' HIGH RETAINING WALL	360 LF
⑧ CONSTRUCT 3.3' HIGH RETAINING WALL	45 LF



TYPICAL STREET DIMENSIONS
LOCAL STREET
(LOOKING NORTH & WEST - NTS)



REVISIONS:
A 10/15/13 - Lowered Interior Portions of Site

M2 Group, Inc.
4652 E. Baseline Road
Suite 107
Mesa, Arizona 85206
Tel: (480) 539-7497
Fax: (480) 539-2610

m2 group
Civil Engineering

GRADING & DRAINAGE PLAN
PROJECT:
BASELINE PLACE
PHOENIX, AZ

ALL TWO WORKING DAYS
(602) 263-1100
1-800-STAKE-IT
(outside western country)

38776
THOMAS R. PALMER
Professional Engineer
No. 12345
Arizona, U.S.A.

JOB NO.
02067CH
2067GP02.DWG
SHEET NO.
5
5 OF 5